



**Regular Meeting Agenda
Planning Commission**

MOHAMMAD HABIB - CHAIR
PAUL LAKE - VICE-CHAIR
JOSEPH MUELLER - PLANNING COMMISSIONER
DAVID LOVATO - PLANNING COMMISSIONER
LIAM DOWNEY - PLANNING COMMISSIONER
STEPHEN ADAMO - PLANNING COMMISSIONER
JAMES WILSON - PLANNING COMMISSIONER

**Tuesday, August 25, 2026
7:00 PM**

**Council Chamber Building
17555 Peak Avenue, Morgan Hill, CA 95037**

Chair Habib will be participating remotely as follows:

1116 E. 59th St.
Chicago, IL. 60637

Public comment shall be allowed from this location.

Morgan Hill Planning Commission meetings are held in person, with the option for the public to attend in person or participate by teleconference/video conference. Information on how the public may observe and participate in the meeting is below.

MEETING PARTICIPATION

Language Interpretation / Interpretación de idiomas

Live Digital Language Interpretation is available. To access the interpretation during the meeting, go to:

<https://live.pocketalk.com/guest/S71BBUiWwiqXh3sPBf9Bfs2Ey4OYY9zgv8vZB5>

or scan the QR code below:

Tenemos Interpretación digital en vivo. Para usar la interpretación durante la reunión, visite: <https://live.pocketalk.com/guest/S71BBUiWwiqXh3sPBf9Bfs2Ey4OYY9zgv8vZB5> o escanee el código QR a continuación:



You can use a headset on your phone for audio or read the transcript on your device. Tablets and disposable headphones will be provided in person during the meeting to those who do not have their own devices.

Puede usar audífonos en su celular para escuchar el audio o leer la transcripción. Durante la reunión, se prestarán tabletas y audífonos desechables para las personas que no tengan su propio aparato.

Remote Participation

Morgan Hill Planning Commission meetings are held in person. The community may attend in person or via Zoom (video/teleconference). The meetings are also live-streamed on the City's website and Facebook page.

As a courtesy, and technology permitting, members of the public may attend online. However, the City cannot guarantee that the public's access to online technology will be uninterrupted, and technical difficulties may occur from time to time. Unless required by the Ralph M. Brown Act, the meeting will continue despite technical difficulties for participants using the online option.

Those wishing to participate in the meetings remotely must register in advance at <https://bit.ly/PlanningCommissionMtg>. Additionally, Zoom participants must be running the latest version or will be required to update to it before joining the meeting remotely.

Remote participation is also available by calling (669) 900-9128 and entering webinar ID: 862 0324 6251#. Dial *9 to raise your hand and be called upon to speak for up to 3 minutes. Dial *6 to unmute.

PUBLIC COMMENT

Public comment may be offered verbally at the meeting or in writing before the meeting.

Those attending remotely may only offer public comment for items on the agenda in any of these three categories:

- Consent Calendar
- Other Business

- Public Hearings

Public comment will be heard from those attending in person first with the submission of a speaker card. Once that is complete, we will move to those on Zoom that have their hand raised. Following public comment from Zoom, we will close the public comment period for that item.

Remote public comment for items not on the agenda will not be accepted.

Written public comment may be submitted to the Planning Office:

- In person at the Planning Commission Meeting;
- Via email to pcpubliccomment@morganhill.ca.gov; or
- Hand delivered or mailed to the Planning Division at 17575 Peak Avenue, Morgan Hill, CA 95037

Please email your comments to the Planning Office no later than 3:00 p.m. on Monday (the day before the Planning Commission meeting) so that your comments can be submitted to the members of the Planning Commission with sufficient time to review them. You may continue to provide written comments up to noon on Tuesday (the day of the meeting), although Planning Commissioners may not have sufficient time to review them before the meeting. Public comments submitted to the Planning Division after noon (12:00 p.m.) the day of the meeting will be provided to the Planning Commission as time allows.

Written comments WILL NOT be read aloud during the Planning Commission Meeting. Please note that written comments are posted on the City's website. It is recommended that you do not include any personal information that you do not want to be posted on the web. Please be advised that communications directed to the Planning Commission are public records and are subject to disclosure pursuant to the California Public Records Act and Brown Act unless exempt from disclosure under the applicable law. Communications will NOT be edited for redactions and will be printed/posted as submitted.

AMERICANS WITH DISABILITIES ACT (ADA)

In compliance with the Americans with Disabilities Act, if you are a disabled person and you need a disability-related modification or accommodation to participate in this meeting, please contact the Planning Office at (408) 310-4709 or by email at planning@morganhill.ca.gov. Requests must be made as early as possible and at least two full business days before the start of the meeting.

CALL TO ORDER

ROLL CALL ATTENDANCE

DECLARATION OF POSTING

Pursuant to Government Code Section 54954.2

PLEDGE OF ALLEGIANCE

PUBLIC COMMENT

Members of the public are entitled to address the Planning Commission concerning any item within the Morgan Hill Planning Commission's subject matter jurisdiction. Public comments are limited to no more than three minutes. Except for certain specific exceptions, the Commission is prohibited from discussing or taking action on any item not appearing on the posted agenda. (See additional noticing at the end of this agenda)

ORDERS OF THE DAY

PUBLIC HEARINGS

1. **A REQUEST FOR A MASTER SIGN PROGRAM (SIGN2026-0015) WITH FREEWAY SIGN FOR THE POPPY RANCH COMMERCIAL SHOPPING CENTER, LOCATED ON THE SOUTHWEST CORNER OF COCHRANE ROAD AND DEPAUL DRIVE (ASSESSOR PARCEL NUMBER'S 728-31-017, -018, AND -019)**

Recommendation:

1. Open/close the public hearing; and
2. Adopt a Resolution approving a Master Sign Program

DIRECTOR'S REPORT/ANNOUNCEMENTS

ADJOURNMENT

NOTICE

Any documents produced by the City and distributed to the majority of the Planning Commission less than 72 hours prior to an open meeting, will be made available for public inspection at the front counter at City Hall located at 17575 Peak Avenue, Morgan Hill, CA, 95037 and at the Morgan Hill Public Library located at 660 West Main Avenue, Morgan Hill, California, 95037 during normal business hours. (Pursuant to Government Code 54957.5)

PUBLIC COMMENT

Members of the Public are entitled to directly address the Planning Commission concerning any item that is described in the notice of this meeting, before or during consideration of that item. If you wish to address the Planning Commission on any issue

that is on this agenda, please complete a speaker request card located in the foyer of the Council Chambers and deliver it to the Minutes Clerk prior to discussion of the item. You are not required to give your name on the speaker card in order to speak to the Planning Commission, but it is very helpful. When you are called, proceed to the podium and the Chair will recognize you. If you wish to address the Planning Commission on any other item of interest to the public, you may do so during the public comment portion of the meeting following the same procedure described above. Please limit your comments to three (3) minutes or less.

Please submit written correspondence to the Minutes Clerk, who will distribute correspondence to the Planning Commission.

Persons interested in proposing an item for the Planning Commission agenda should contact a member of the Commission who may plan an item on the agenda for a future Commission meeting. Should your comments require Planning's action, your request may be placed on the next appropriate agenda. Planning Commission discussion or action may not be taken until your item appears on an agenda. This procedure is in compliance with the California Public Meeting Law (Brown Act) Government Code §54950.

City Council Policies and Procedures (CP 03-01) outlines the procedure for the conduct of public hearings. Notice is given, pursuant to Government Code Section 65009, that any challenge of Public Hearing Agenda items in court, may be limited to raising only those issues raised by you or on your behalf at the Public Hearing described in this notice, or in written correspondence delivered to the Commission at, or prior to the Public Hearing on these matters.

The time within which judicial review must be sought of the action by the Commission, which acted upon any matter appearing on this agenda is governed by the provisions of Section 1094.6 of the California Code of Civil Procedure.

For a copy of Commission Policies and Procedures CP 97-01, please contact the City Clerk's office (408) 779-7259, (408) 779-3117 (fax) or by email cityclerk@morganhill.ca.gov.

PLANNING COMMISSION STAFF REPORT

MEETING DATE: August 25, 2026

PREPARED BY:

Tiffany Brown, Senior Planner

APPROVED BY: Jennifer Carman

A REQUEST FOR A MASTER SIGN PROGRAM (SIGN2026-0015) WITH FREEWAY SIGN FOR THE POPPY RANCH COMMERCIAL SHOPPING CENTER, LOCATED ON THE SOUTHWEST CORNER OF COCHRANE ROAD AND DEPAUL DRIVE (ASSESSOR PARCEL NUMBER'S 728-31-017, -018, AND -019)

RECOMMENDATION(S)

1. Open/close the public hearing; and
2. Adopt a Resolution approving a Master Sign Program

LOCATION MAP/PROJECT INFORMATION:



- | | | |
|----|---------------|--|
| 1. | Location: | Located on the Southwest corner of Cochrane Road and DePaul Drive (APN:728-31-017, -018, AND -019) |
| 2. | Site Area: | 7.82-Acres |
| 3. | General Plan: | Commercial |
| 4. | Zoning: | Highway Commercial (CH) |

BACKGROUND:

In January 2026, the Planning Division received an application for a Design Permit (SR2026-0005: Cochrane/DePaul - Poppy Ranch) to allow for the construction of a commercial shopping center, known as Poppy Ranch, totaling 59,314 square feet on a 7.82-acre site located on the Southwest corner of DePaul Drive and Cochrane Road. The shopping center commercial space is spread between four buildings, two facing Cochrane Road and two buildings facing DePaul Drive, with a 23,299-square foot anchor grocery store located on the Southwest portion of the property. The

Development Services Director held an administrative hearing on June 2, 2026, where staff presented the shopping center proposal and considered comments from the public. Pursuant to Section 18.108.040 of the Municipal Code, the Development Services Director approved the project application subject to the conditions of approval on July 24, 2026.

Following the Design Permit for the Poppy Ranch shopping center, the applicant applied for a Master Sign Program (SIGN2026-0015) on June 9, 2026.

Site Description

The project site is currently a relatively flat, undeveloped, 7.82-acre site. The approved shopping center will have one right turn only entry point off of Cochrane Road, and two dual access points off DePaul Avenue. Two new commercial buildings are located adjacent to Cochrane Road and two other commercial buildings are adjacent to DePaul, with the anchor grocery building located on the Southwest side of the property adjacent to Madrone Channel and Highway 101.

Surrounding Uses

The site is adjacent to Madrone Channel and Highway 101 to the west, the Cochrane Commons commercial shopping center to the north, undeveloped land to the south, and Valley Health Morgan Hill Center, Westmont of Morgan Hill, and a residential dwelling to the east.

PROJECT DESCRIPTION:

The applicant is requesting approval of a Master Sign Program that provides design standards for wall, canopy, monument, and freeway signage. Wall signage is proposed on all facades of the buildings, or canopy signage in place of the wall signs where applicable, thereby having signs face both the interior parking lot of the shopping center and the adjacent streets, Cochrane Road and DePaul Avenue. Two monument signs are proposed on the site; one located near the entrance along Cochrane Road, and the other located near an entrance along DePaul Avenue. A shopping center project identification sign is proposed to be located near the Cochrane Road and DePaul Avenue intersection. A freeway sign is proposed to be located adjacent to the Highway 101 off-ramp to Cochrane Road. Please refer to the attached site plan and elevations within the Master Sign Program indicating the locations of the proposed signage. Below is a summary of the proposed standards for each sign type.

Wall Sign Standards — Wall signage will consist of face-lit channel letters mounted directly to the facade of the building. If the wall sign is located on a corrugated building facade, the signage shall be attached to a background wireway. Letters are required to be one and one-half inches deep and fabricated of aluminum channel letters with plexiglass faces. Letters are to be internally illuminated and are permitted at a ratio of one-half square foot of sign area for each lineal foot of building frontage of the business being advertised, not to exceed 65% of the lease width and 80% of the architectural area.

Canopy Sign Standards — Face-lit channel letters shall be floated on a raceway on the top of any canopy. Letters are required to be one and one-half inches deep and fabricated of aluminum channel letters with plexiglass faces. Letters are to be internally illuminated and are permitted at a ratio of one-half square foot of sign area for each lineal foot of building frontage of the business being advertised, not to exceed 65% of the lease width and 80% of the architectural area.

Grocery Anchor Sign Standards — Several wall signs are proposed for the Sprouts grocery anchor store consisting of three store brand signs, consisting of the company name and logo, and four tertiary signs. The primary sign located on the building frontage is proposed to be 193.8 square feet in size; and the two secondary store branded signs, with one sign located on the north-east portion of the building facing the parking lot and the other on the south-west portion of the building facing the Highway 101 off-ramp, are proposed to be 153 square feet and 152.9 square feet in size,

respectively. The four tertiary signs are proposed to range in size from 6.1 square feet to 10.4 square feet in size and are all proposed to be located on the front facade of the building. The store branded signs are proposed to be internally-illuminated channel letters, and the four tertiary signs are proposed to be internally-illuminated channel letters on a panel.

Monument Sign Standards — One monument sign is proposed to be allowed per street frontage, near the vehicle access point into the shopping center and one shopping center project identification monument sign located at the north-east corner near Cochrane Road and DePaul Avenue intersection. The identification monument sign shall not exceed 8-feet in height and 6-feet in width. All monument-style signs are proposed to consist of a simulated wood powder coated aluminum on a board formed concrete veneer panel. The shopping center identification monument sign will consist of face-lit channel letters/logo (California Poppy flower), and will be internally illuminated. The other two monument signs shall not exceed 8-feet in height by 9-feet, 8.5-inches in width. Tenant panels are proposed to be push-thru flush letters in day/nite acrylic, and the Sprouts tenant panel will be a back-lit acrylic panel. The total signage area for each monument sign is limited to 50 square feet.

Freeway-Oriented Sign Standards — One freeway-oriented sign is proposed with a height of 50-feet and a width of 20-feet. The freeway-oriented sign is proposed to consist of a simulated wood/powder coated aluminum on a concrete veneer panel, consistent with the monument signs. The freeway-oriented sign would allow up to 100 square feet for the Poppy Ranch shopping center logo and identification and 320 square feet of commercial tenant signage, providing 40 square feet for the Sprouts grocery store, and up to 32 square feet for the other tenant spaces (8 panels). Tenant panels are proposed to be push-thru flush letters in day/nite acrylic, and the Sprouts tenant panel will be a back-lit acrylic panel, consistent with the monument signs. The Poppy Ranch text and logo (California Poppy flower) will consist of face-lit channel letters and will be internally illuminated.

PROJECT ANALYSIS AND FINDINGS: ANALYSIS

The proposed project was analyzed with respect to conformance with: 1) Morgan Hill 2035 General Plan and 2) Zoning Ordinance.

1. General Plan Land Use Consistency

The General Plan designates the site as commercial. The proposed Master Sign Plan is consistent with the Policies listed below.

Policy CNF-8.1: High Quality Design. Require all development to feature high quality design that enhances the visual character of Morgan Hill.

The proposed sign standards require one sign per elevation for each tenant and require high-quality face-lit trimless channel letters. Signage on both the front and back of the buildings enhances the shopping center building facades by creating a break in the facade, with signage facing the adjacent roadways and internal shopping center parking lot similar to the Cochrane Commons shopping center.

Policy CNF-15.3: Retail Uses at Major Intersections. Encourage retail sales at major intersections as the focus of clustered commercial development.

The proposed Master Sign Program supports the shopping center at the Cochrane Road and DePaul Avenue intersection adjacent to the Highway 101 off-ramp.

2. Zoning Ordinance Consistency

A Master Sign Program is required for any non-residential development with four or more tenants and/or any buildings containing more than one business. The purpose of a Master Sign Program is to provide a coordinated approach to signage for multi-tenant commercial development. A Master Sign Program may deviate from standards contained in this chapter relating to permitted sign height, number of signs, sign area, and type of sign. A Master Sign Program may not allow prohibited signs as defined in [Section 18.88.050 \(Prohibited Signs\)](#).

Project Proposal

The Master Sign Program identifies allowed sign types, number of signs, sign locations, maximum square footage for signs, and allowed materials. Colors are not restricted to allow each business their unique colors and logos. While the Master Sign Program standards are allowed to deviate from the standards set in the Municipal Code ([Section 18.88.100 - Standards for Specific Sign Types](#)), the program complies with all standards except for the following:

- Number of Wall Signs Per Tenant.

The municipal code allows one wall sign per tenant. The proposed Master Sign Program requires one wall sign on all building facades, which provides tenants a minimum of two signs per storefront.

- Signage Standards for Anchor Building.

The Master Sign Program introduces separate standards for the Anchor Building. The program allows one primary sign and four tertiary signs along the front of the building, and two secondary signs with company name and logo, with one sign located on the north-east portion of the building facing the parking lot, and the other on the south-west portion of the building facing the Highway 101 off-ramp.

- Freeway-Oriented Sign: Eligibility.

The municipal code requires a minimum 10-acre site with 100,000 square feet of commercial space abutting the Highway 101 right-of-way to qualify for a freeway sign. The site is 7.82-acres with 59,314 square feet of commercial space abutting the Highway 101 right-of-way.

- Freeway-Oriented Sign: Area.

The municipal code allows a maximum sign area of up to 200 square feet. The proposed master sign program proposes a total of 320 square feet of signage, consisting of 40 square feet for the anchor grocery store and eight 32 square foot panels for each tenant.

- Freeway-Oriented Sign: Minimum Separation.

The municipal code requires a minimum of 1,000 lineal feet separation from another freeway sign. This master sign program allows for one freeway sign located approximately 500 lineal feet away from the existing Cochrane Commons freeway sign on the north side of Cochrane and the Highway 101 northbound on-ramp.

Pursuant to Morgan Hill Municipal Code [Section 18.88.110 \(Master Sign Program\)](#), the Planning Commission shall consider the following when considering approval of the Master Sign Program.

Design Standards:

1. Master Sign Programs shall feature a unified and coordinated approach to the materials, color, size, type, placement, and general design of signs proposed for a project or property. Master sign programs may allow for variety in the design of individual signs provided that

the signs contribute to a consistent visual theme within the property.

2. A Master sign program may deviate from standards contained in this chapter relating to permitted sign height, number of signs, sign area, and type of sign. A master sign program may not allow prohibited signs as identified in Section 18.88.050 (Prohibited Signs).

The Master Sign Program provides development standards that address size, type, and placement along with the general design for the different types of allowed signage for the commercial center. The Master Sign Program allows tenants to choose the fonts and add logos that identify with the specific business. The program provides standards for all new building tenant signage, identifying the allowed materials, size, type and placement which will provide a unified look throughout the shopping center. Additionally, the Master Sign Program allows future tenants to choose colors consistent with their business colors. Materials and style of allowed signage will complement the building facade, monument signs will assist with directing traffic to the center entrances, and the freeway-oriented sign provides awareness and compatibility with the overall commercial center.

CONCLUSION:

After review of the proposed Master Sign Program, staff finds the application consistent with Municipal Code Section 18.88.110 (Master Sign Program). In addition, pursuant to Subsection 18.88.100.C (Standards for Specific Sign Types), the city council finds that large retail developments adjacent to Highway 101 have unique needs of communicating their message due to the high speed of vehicles traveling on the highway and the size and number of tenants located immediately to the freeway. As such, the proposed Master Sign Program will enhance the building facades, highlight the shopping center entrances, and provide longevity support to the new shopping center with freeway-oriented signage.

CEQA (California Environmental Quality Act):

The project is categorically exempt from further environmental review pursuant to Sections 15301 and 15303 of the California Environmental Quality Act.

COMMUNITY ENGAGEMENT:

The proposed project was publicly noticed (mailed to property owners within 300-feet of the project and newspaper legal noticed) for the minimum 10-day period. The Poppy Ranch project webpage was updated with the Master Sign Program hearing information and public notice.

ATTACHMENTS:

1. Draft Resolution
2. Exhibit A: Master Sign Program
3. Staff Presentation (Poppy Ranch Master Sign Program)

RESOLUTION NO. 26-XX

**A RESOLUTION OF THE PLANNING COMMISSION OF
THE CITY OF MORGAN HILL APPROVING A MASTER
SIGN PROGRAM FOR THE POPPY RANCH SHOPPING
CENTER LOCATED ON THE SOUTHWEST CORNER OF
COCHRANE ROAD AND DEPAUL DRIVE (APN'S 728-31-
017, -018, AND -019)**

WHEREAS, On June 9, 2026, an application (SIGN2026-0015) was submitted by Morgan Hill Regency, LLC (Regency Centers), for the request of a Master Sign Program for the Poppy Ranch commercial development; and

WHEREAS, such request was considered by the Planning Commission at their regular meeting of August 25, 2026; and

WHEREAS, testimony received at a duly noticed public hearing, along with exhibits and drawings and other materials have been considered in the review process; and

**NOW, THEREFORE, THE MORGAN HILL PLANNING COMMISSION DOES
RESOLVE AS FOLLOWS:**

SECTION 1. The project is categorically exempt from CEQA pursuant to Section 15301 and 15303 of the California Environmental Quality Act.

SECTION 2. The Master Sign Program is consistent with the General Plan.

The Master Sign Program is consistent with Policy CNF-8.1 and CNF-15.3 in that the program requires high-quality signage materials that complement the new buildings and supports the new commercial center at a major intersection adjacent to the Highway 101 off-ramp.

SECTION 3. The approved Master Sign Program has been found consistent with the criteria for Master Sign Program approval contained in Chapter 18.88 of the Zoning Code, and any applicable specific plan or area plan adopted by the City Council.

- Master Sign Programs shall feature a unified and coordinated approach to the materials, color, size, type, placement, and general design of signs proposed for a project or property.

The Master Sign Program provides development standards that address size, type, and placement along with the general design for the different types of allowed signage for the commercial center.

- Master Sign Programs may allow for variety in the design of individual signs provided that the signs contribute to a consistent visual theme within the property.

The Master Sign Program allows tenants to choose the fonts and add logos that identify with the specific business.

- The program provides standards for all new building tenant signage, identifying the allowed materials, size, type and placement which will provide a unified look throughout the shopping center.

Allowed signage materials, size, type, and placement standards are identified within the Master Sign Program.

- The program allows for flexibility in colors to allow the signage to match the business colors and the materials and placement will complement the architecture of the center.

The Master Sign Program allows future tenants to choose colors consistent with their business colors. Materials and style of allowed signage will complement the building facade, monument signs will assist with directing traffic to the center entrances, and the freeway-oriented sign provides awareness and compatibility with the overall commercial center

SECTION 4. Future signage on the project site shall comply with the standards of the Master Sign Program as demonstrated in Exhibit “A”. Landscaping at the base of the monument signs are required to be maintained by the property owner or designee.

SECTION 5. The Planning Commission hereby approves the Master Sign Program as incorporated herein as Exhibit “A”.

PASSED AND ADOPTED by the Planning Commission of Morgan Hill at a Regular Meeting held on the 25th day of August 2026 by the following vote:

AYES: COMMISSIONERS:
NOES: COMMISSIONERS:
ABSTAIN: COMMISSIONERS:
ABSENT: COMMISSIONERS:

ATTEST:

APPROVED:

MOHAMMAD HABIB, Chair

JENNA LUNA, Deputy City Clerk



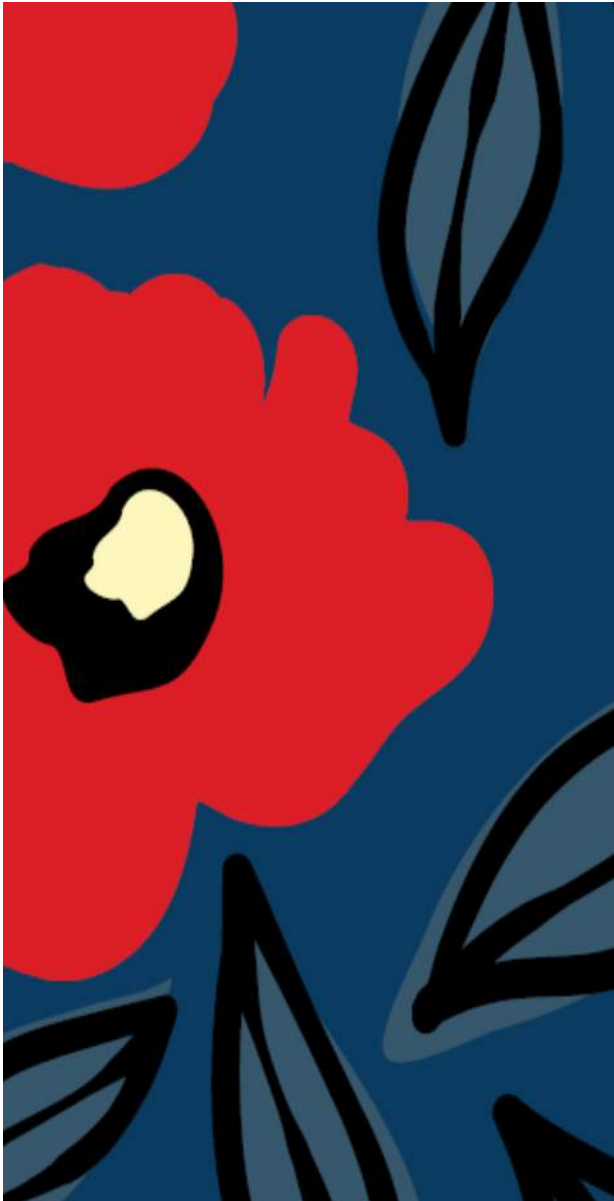
06/04/2026

**Regency
Centers.**

915 WILSHIRE BLVD #2200, LOS ANGELES, CA 90017
213-553-2200 | REGENCYCENTERS.COM

SOUTHWEST SIGN CO.

1852 POMONA RD., CORONA, CA 92878
951-734-6275 | SOUTHWESTSIGN.COM



A SITE PLAN 1

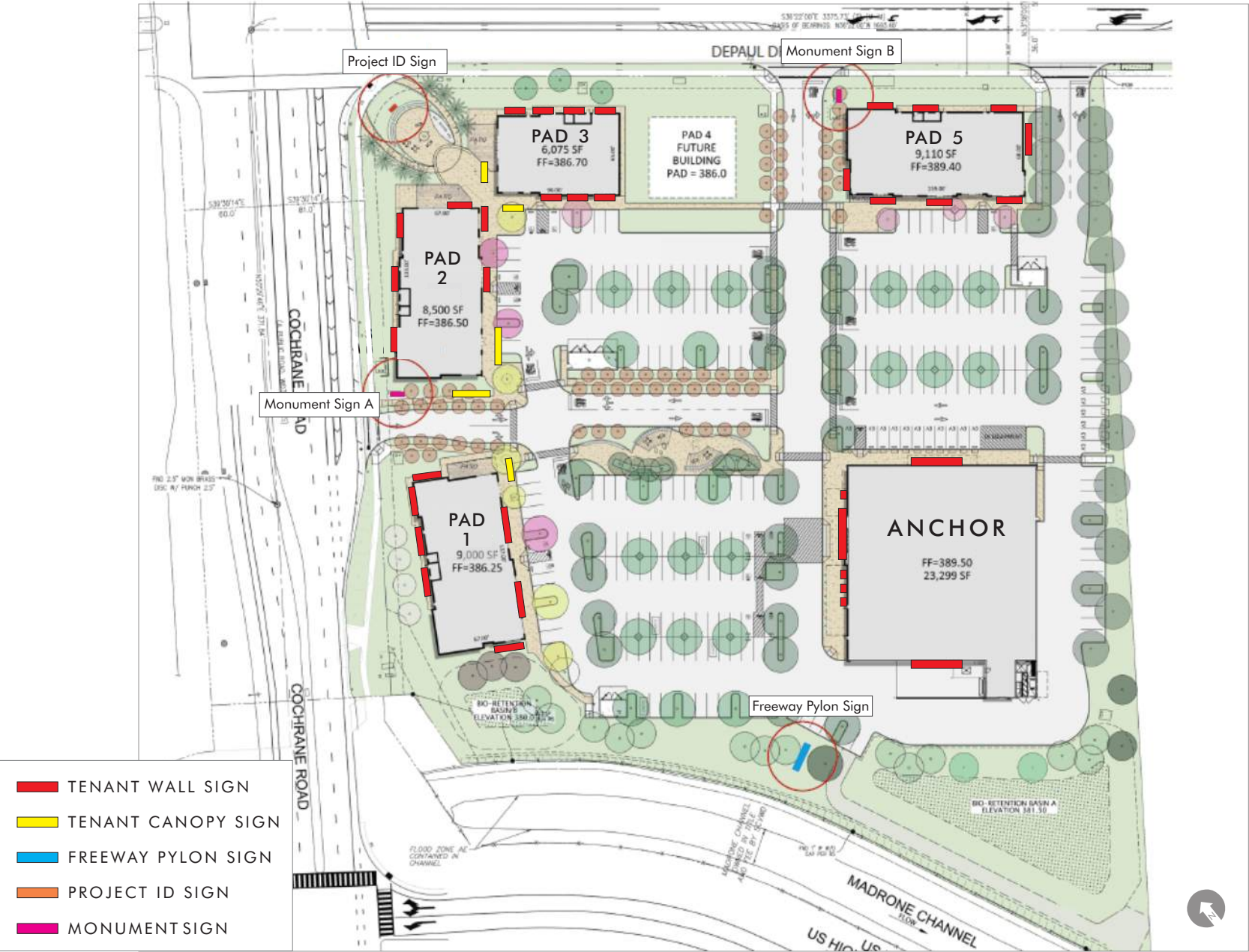
B SIGN CRITERIA 2 - 3

C SIGN ELEVATIONS:

- ANCHOR BUILDING 4 - 5
- PAD 1 BUILDING 6 - 7
- PAD 2 BUILDING 8 - 9
- PAD 3 BUILDING 10 - 11
- PAD 5 BUILDING 12 - 13

D SIGN TYPES:

- WALL SIGNS - STANDARD WALL 14
- WALL SIGNS - CORRUGATED WALL 15
- CANOPY SIGNS 16
- WINDOW SIGNS AND SERVICE DOOR SIGNS 17
- FREEWAY PYLON SIGN 18 - 19
- PROJECT ID SIGN 20
- MONUMENT SIGNS 21 - 23
- SPROUTS WALL SIGNS 24 - 30
- PROPERTY LEASING SIGNS 31



DESIGN INTENT

Signage in Poppy Ranch is intended to be in scale with adjacent buildings and surrounding development. The message should be easily read and direct. Signage shall be creative and imaginative with emphasis on well-developed theme graphics consistent with high legibility and effectiveness, with sign construction details that support the overall design theme of each sign. Individuality of styles and identity of tenant are encouraged.

SUBMITTALS AND APPROVALS

Prior to commencing sign fabrication, Tenant shall submit to Landlord for approval three (3) sets of complete, fully dimensioned, and detailed shop drawings including:

- Photo illustration of storefront with graphics in scale and in full color.
- Elevation of sign location showing design, location, size, and layout of sign, drawn to scale, indicating dimensions, attachment devices, and construction detail.
- Section through sign showing the dimensioned thickness of the letters, complete wiring path, transformer location and attachment details.
- Scaled letter patterns for all graphics.
- Site plan, indicating location of sign on property.

All sign submittals shall be reviewed by Landlord for conformance with the provisions of these criteria.

Fabrication and installation of all signs shall be performed in accordance with the standards and specifications outlined in these criteria and in the final approved plans and shop drawings.

SIGN CONTRACTOR RESPONSIBILITIES

The Tenant's sign contractor, prior to commencing sign fabrication, shall:

- Submit to Landlord for approval complete and fully-dimensioned shop drawings.
- Obtain approved sign permits from the City of Morgan Hill and deliver copies of same to Landlord.
- Provide to Landlord an original certificate of insurance naming the Landlord as an additional insured for liability coverage in the amount of \$2,000,000.00.

TENANT SIGN REQUIREMENTS

Only the types and numbers of signs listed herein are permitted. No deviation from these requirements will be permitted without written Landlord and City approval. Tenants are designated as Anchor Tenant at Landlord's discretion.

A. Anchor Tenant Wall Signage

- Anchor Tenant shall be allowed up to 1 primary sign and up to 2 secondary signs using their logo, font, and name. Additionally, 4 tertiary signs displaying business offerings or other verbiage subject to landlord approval. (See reference on page 4-5)
- Primary signage shall be Face Lit Channel Letters per Approved Sign Types details.
- Maximum width of sign is 65% of lease width and 80% of width of the wall on which it is placed, Maximum area of 1/2 sf per lineal foot of store frontage.

B. Tenant Wall Signage

- Tenants shall be allowed one sign per elevation, but are required to have signage at every elevation where a sign location is allowed, using their logo, font, and name and/or business category, or other verbiage subject to landlord approval. (See reference on page 6-13)
- Primary signage shall be Face Lit Trimless Channel Letters per Approved Sign Types details.
- Maximum width of sign is 65% of lease width and 80% of width of the sign fascia on which it is placed. Maximum area of 1/2 sf per lineal foot of frontage.
- Where wall signs fall on corrugated steel. Sign shall include wireway background, max 1.5" deep so only one power hole penetrates the metal wall to remote power supply. Wireway background counts as square footage of sign area.

C. Tenant Canopy Signage

- Tenants shall be allowed one sign per elevation which includes a large canopy. Subject to Landlord approval, using their logo, font, and name and/or business category, other verbiage subject to landlord approval.
- Primary signage shall be Face Lit Channel Letters per Approved Sign Types details.
- Maximum width of sign is 80% of the overall canopy width and a max height of 30". Maximum area of 1/2 sf per lineal foot of frontage.

ACCEPTABLE SIGN TYPES

Tenant signs may consist of the following allowable sign types.

- Face lit channel letters. Trimless or with trim cap. 3"-5" deep letters with LED internal illumination. White LEDs must be 3500K. Returns painted to match face.
- Logos and/or tag lines may be proposed within channel logo shapes with aluminum face and push thru plex letters and halo back. All logos and sign verbiage to be approved by landlord.
- Window vinyl graphics are allowed for store hours, emergency numbers, etc.

GENERAL SIGN PARAMETERS

- All signage is subject to the approval of Landlord and the local authorities.
- Signage is allowed only within the boundaries of the Tenant's space and shall be symmetrically centered in the localized area where it will be installed. Wall signs shall not extend more than 6" beyond the face of the surface to which the sign is mounted.
- One tenant/occupant identification sign per storefront elevation is allowed.
- All signs must be illuminated and shall derive light from a concealed source. No exposed lamps, globes, tubes, etc. will be permitted.
- Double-stacked lettering may be acceptable, but shall be reviewed on an individual basis. Double-stacked letters shall comfortably fit within the architectural area as determined by the Landlord.

SIGN CONSTRUCTION REQUIREMENTS

1. All sign fabrication work shall be of excellent quality.
2. Seams shall be concealed at tops of letters for returns and face trimcap. No light leaks at seams or edges of letters are permitted.
3. Signs must be made of durable rust-inhibited materials that are appropriate and complementary to the building.
4. Finished surfaces of metal shall be free from oil-canning and warping.
5. Paints must be high-quality acrylic polyurethane, Matthews Paint or equivalent. All sign finishes shall be free of dust, orange peel, drips, and runs, and shall have a uniform surface conforming to the highest standards of the industry.
6. All lighting must match the exact specifications of the approved shop drawings. Wiring and assembly details must match provided specifications.
7. Surface brightness of all illuminated materials shall be consistent in all letters and components of the sign. Light leaks or hot spots will not be permitted.
8. Penetrations into building walls, where required, shall be made waterproof.
9. All signs and their installation must comply with applicable building and electrical codes.
10. Underwriters Laboratory-approved labels shall be affixed to all letters in discrete locations not visible from normal viewing angles.
11. In no case shall any manufacturer's label, stamp, or decal be visible from normal viewing angles. Only that portion of a permit sticker that is legally required to be visible shall be exposed.
12. Exposed equipment, such as junction boxes, transformers, lamps, tubing, conduits, etc., is prohibited.
13. Tenant is responsible for removing the signage upon vacating the space as well as repainting/patching the façade to match the existing color and condition.
14. Non-illuminated channel letter signs or individual letters shall be constructed with a metal or plastic/acrylic face and shall not be fabricated from foam.
15. All illuminated signs shall include an illumination dimmer feature to avoid any excess in illumination and illumination nuisance on neighboring properties.

SIGN TYPE SPECIFICATIONS**Face Lit channel letter specifications:**

- a. Letters shall be 3" to 5" deep aluminum channels with returns and trim cap painted to match face color.
- b. Only 3500K LED halo illumination when white is used.
- c. Faces may be with trim cap painted to match returns, or trimless plex face.
- c. All drain holes must be baffled.

Window Signage specifications:

Subject to Landlord's discretion and approval, and conformity with project and city code sign design requirements.

Service Door Sign specifications:

- a. Letters shall be 3M dark bronze vinyl.
- b. Letters shall be computer cut and spaced.
- c. Max area is 1sf
- d. Copy may include store name only and may be in tenant logotype if it conforms to be size allowance.

Address Sign specification:

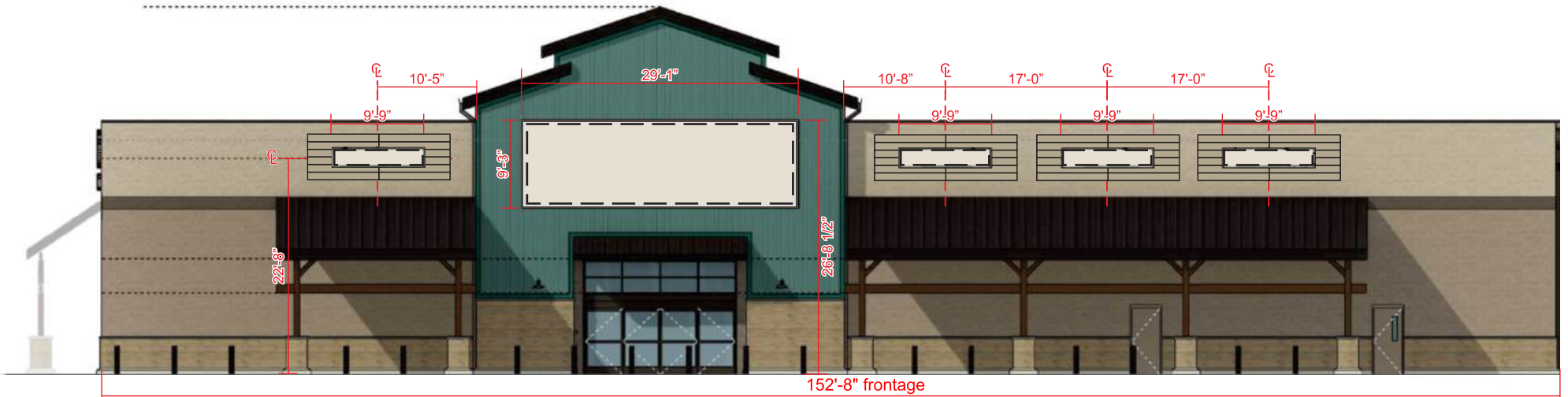
Landlord shall install address numerals at each storefront entrance door as required by the local fire marshal. Address signs are not included in the wall sign calculation.

Special Event Signage:

- a. Temporary signage or banners for events such as grand openings may be permitted with Landlord and City approval
- b. Signage material must be durable.
- c. Signage must be "on-building" at the store's location. No signage will be permitted in: landscaping, common areas/walkways, parking lot or the public right-of-way.

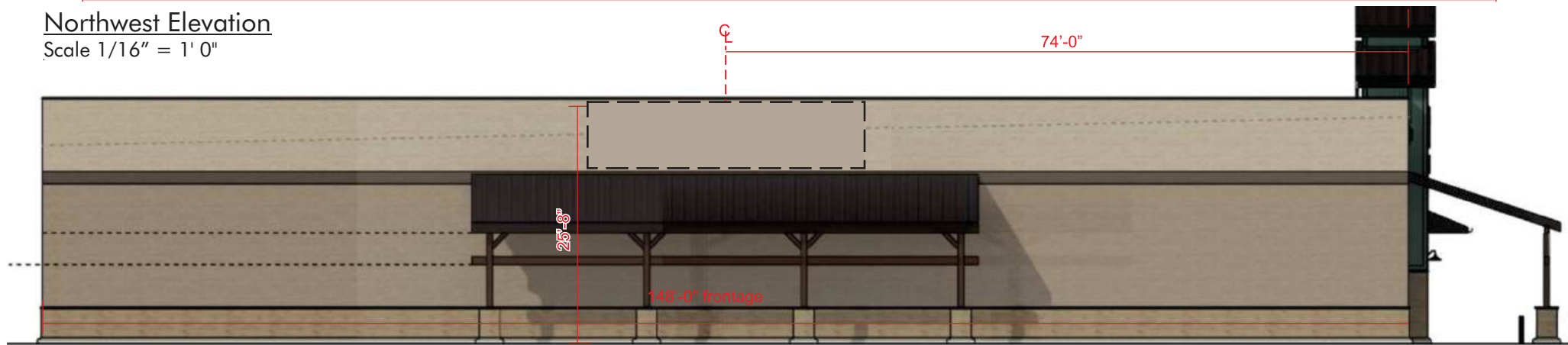
SIGNS NOT PERMITTED

1. Placed on canopy roofs extending above the Building roof or placed so as to project above the parapet, canopy or top of the wall upon which it is mounted.
2. Placed at any angle to the building; provided, however, the foregoing shall not apply to any sign if such sign is at least eight (8) feet above the sidewalk.
3. Painted on the surface of any building.
4. Flashing, moving or audible or electronic.
5. Made utilizing (i) exposed neon tubes, (ii) exposed LEDs (light emitting diodes), (iii) exposed ballast boxes, (iv) exposed transformers, or (v) exposed raceways.
6. Made of paper, cardboard or banner material, or be temporary in nature (exclusive of approved special event or contractor signs), or be a sticker or decal. At no time will hand-lettered, non-professional signs, or newspaper advertisements be displayed on the storefronts.
7. Internally-illuminated cabinets with plastic or acrylic facing shall be prohibited.
8. Formed plastic or injection molded plastic signs
9. Additional signage of any kind, other than internal signage.
10. Other than signs permitted by this sign program, no other form of exterior expressions, include, but not limited to, pennants, pictures, notices, flags, seasonal decorations, writings, lettering, designs or graphics, shall be placed on or attached to the exterior of any building or window.
11. Exposed raceways shall be prohibited. Background wireways on corrugated metal walls are excepted.



Northwest Elevation

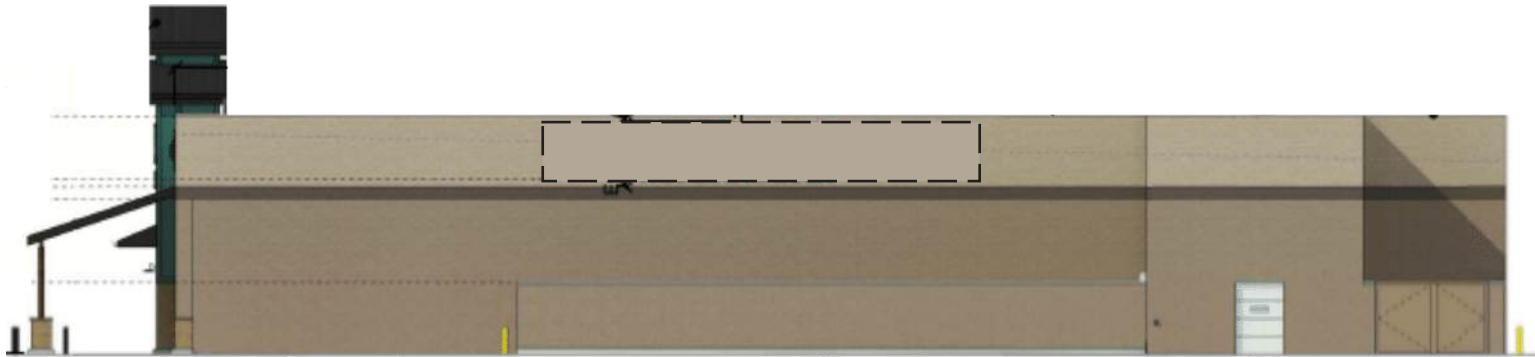
Scale 1/16" = 1' 0"



Northeast Elevation

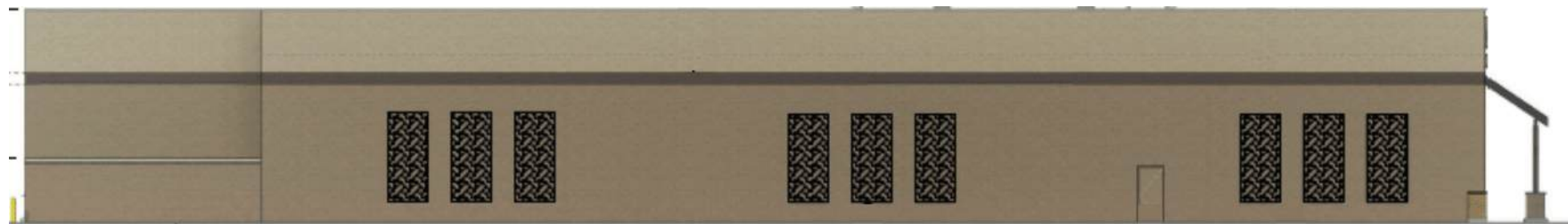
Scale 1/16" = 1' 0"





Southwest Elevation

Scale 1/16" = 1' 0"



Southeast Elevation

Scale 1/16" = 1' 0"

*NO SIGN ON THIS ELEVATION





East Elevation
Scale 1/16" = 1' 0"

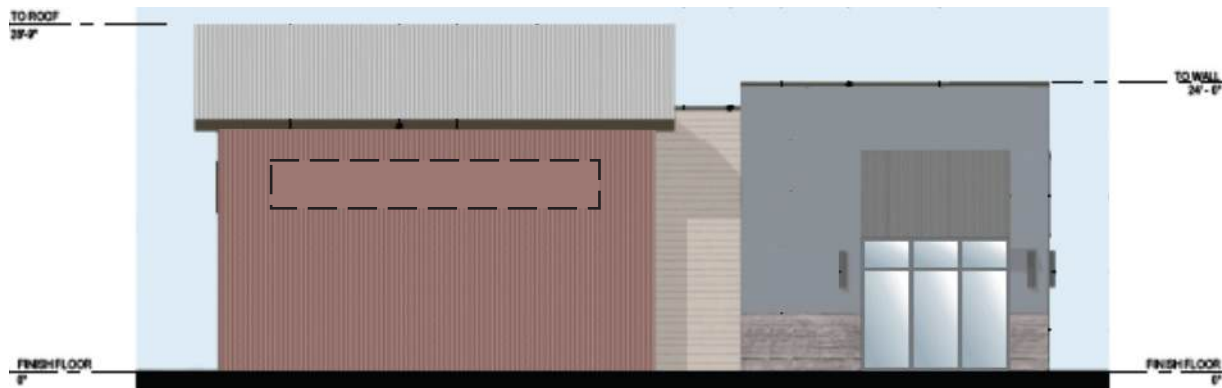


West Elevation
Scale 1/16" = 1' 0"





South Elevation
Scale 1/16" = 1' 0"



North Elevation
Scale 1/16" = 1' 0"



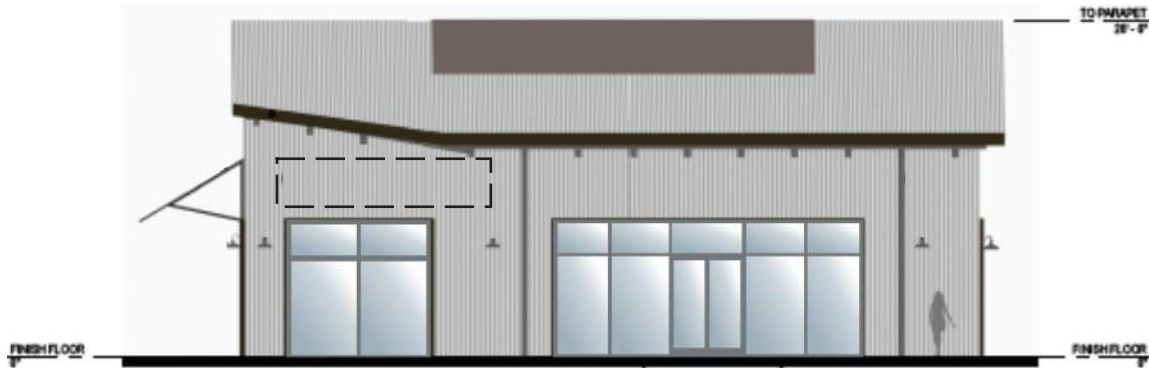


East Elevation
Scale 1/16" = 1' 0"



West Elevation
Scale 1/16" = 1' 0"





North Elevation

Scale 1/16" = 1' 0"



South Elevation

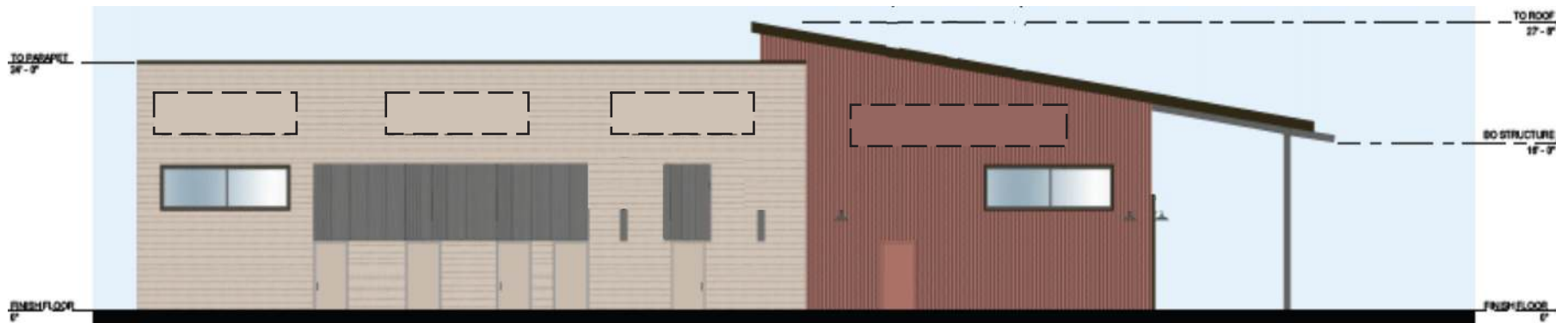
Scale 1/16" = 1' 0"





South Elevation

Scale 1/16" = 1' 0"



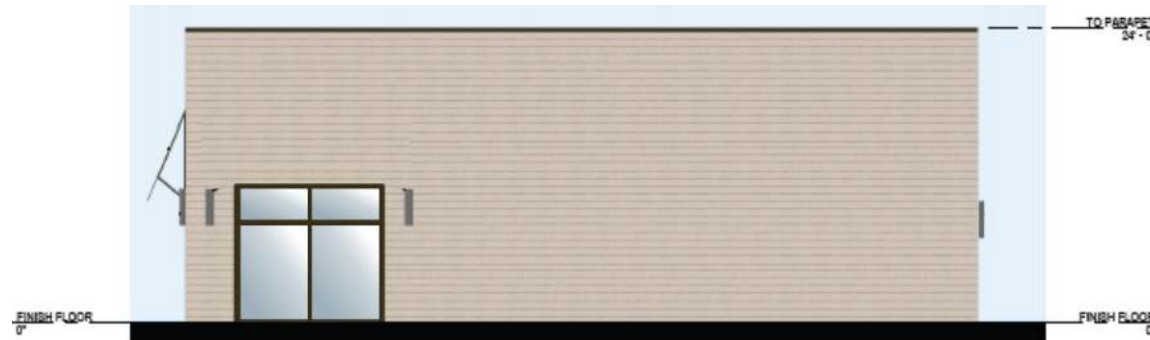
North Elevation

Scale 1/16" = 1' 0"



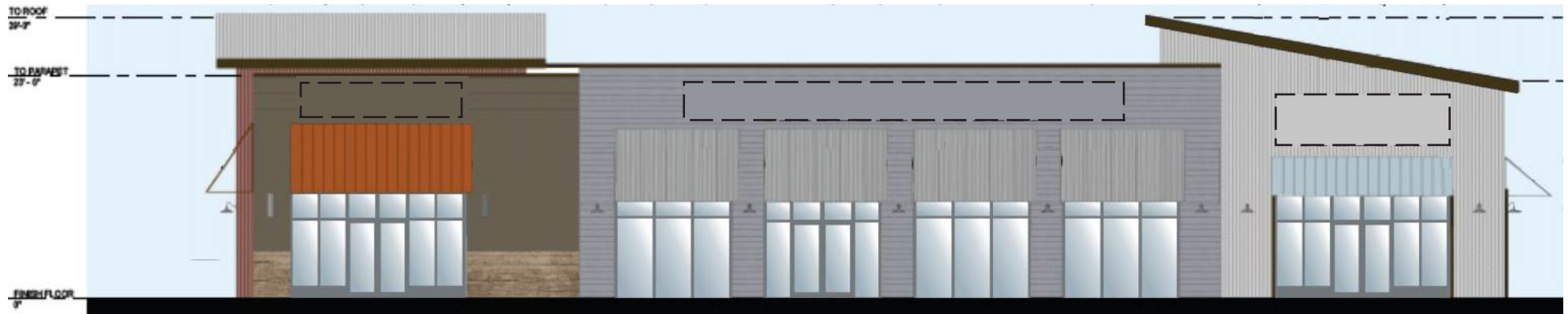


West Elevation
Scale 1/16" = 1' 0"



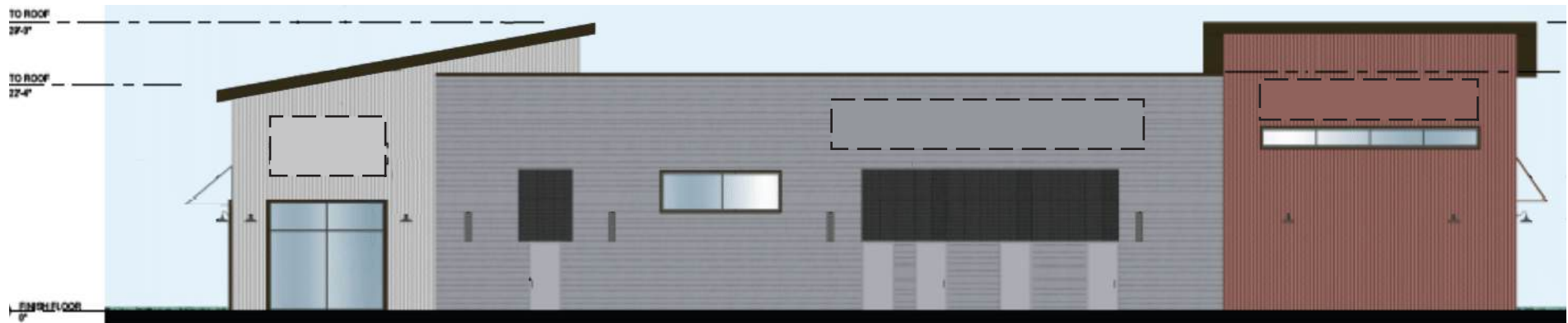
East Elevation
Scale 1/16" = 1' 0"





South Elevation

Scale 1/16" = 1' 0"



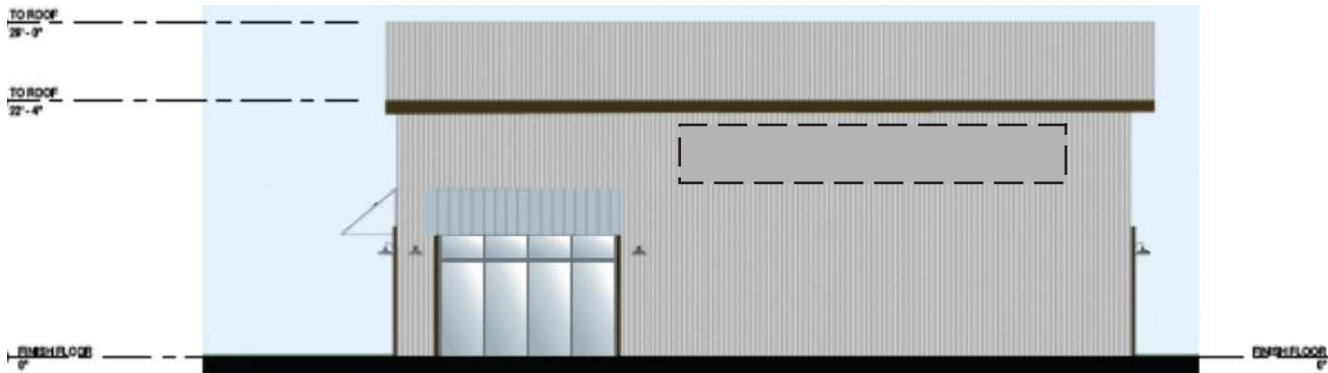
North Elevation

Scale 1/16" = 1' 0"



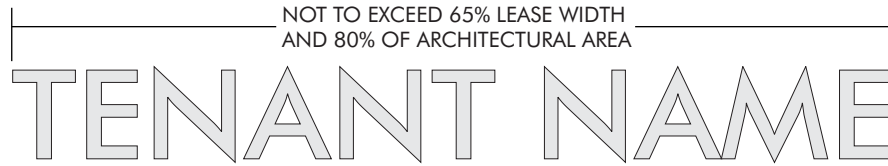


West Elevation
Scale 1/16" = 1' 0"



East Elevation
Scale 1/16" = 1' 0"

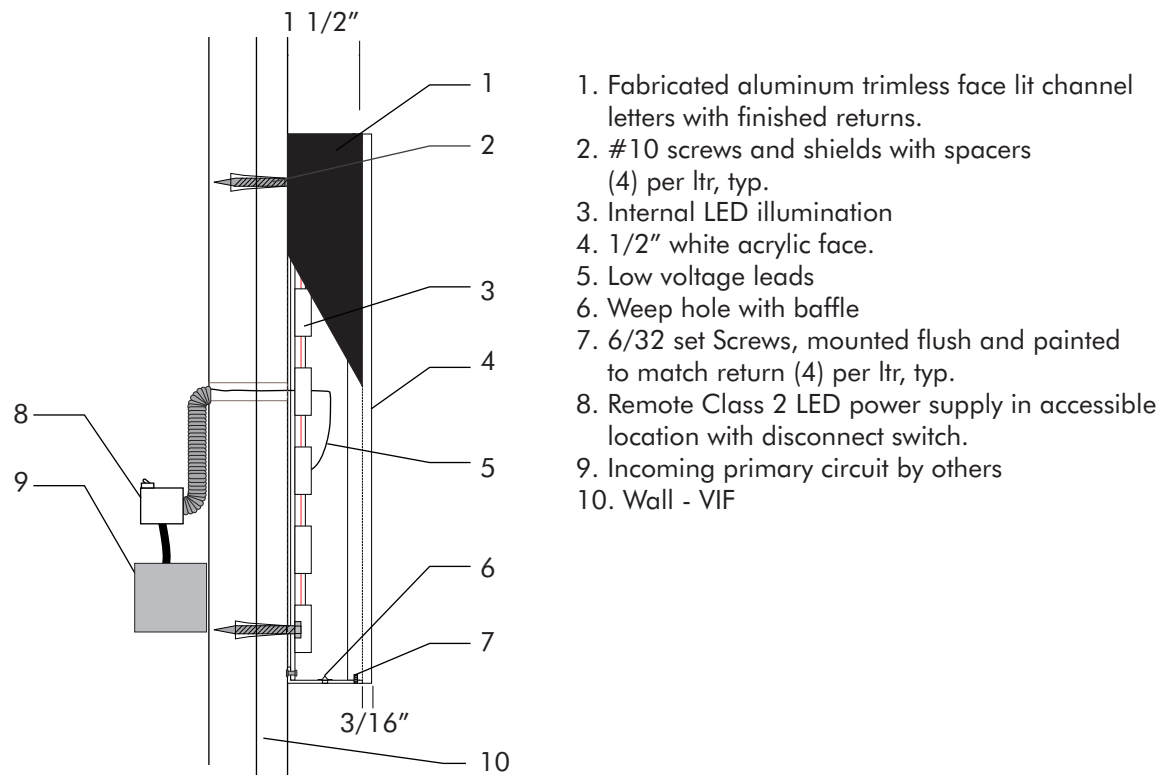




STANDARD TRIMLESS FACELIT CHANNEL LETTER

Scale 1/4" = 1' 0"

1 1/2" deep fabricated aluminum channel letters plexiglass faces, either trimless or with trim cap. LED internal illumination. Wall signs shall be permitted a ratio of one-half square foot of sign area for each lineal foot of building frontage of business being advertised.



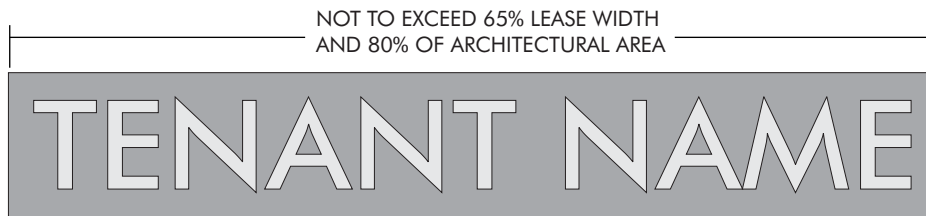
Sample Rendering

Not To Scale



Face Lit Channel Letters

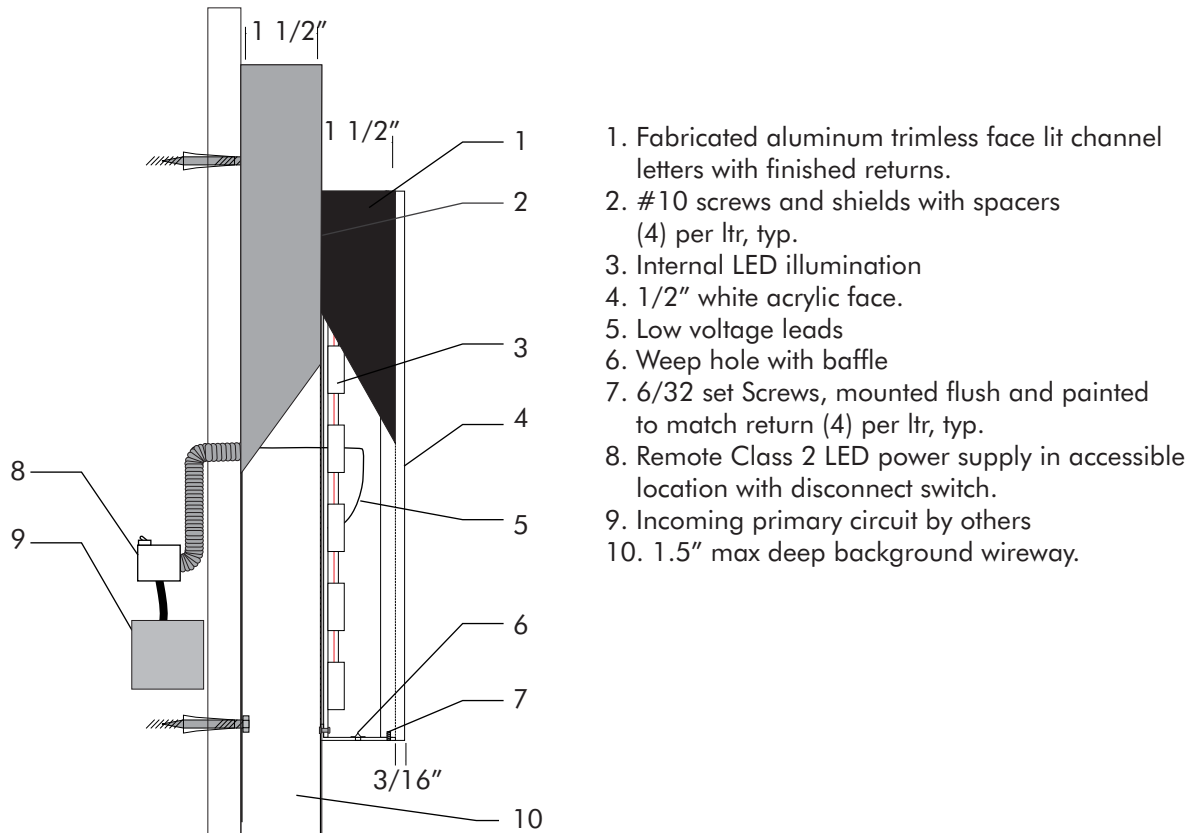
Not To Scale



Channel Letters on Background Wireway

Scale 1/4" = 1' 0"

1 1/2" deep fabricated aluminum channel letters plexiglass faces, either trimless or with trim cap.
LED internal illumination. Wall signs shall be permitted a ratio of one-half square foot of sign area for each lineal foot of building frontage of business being advertised.



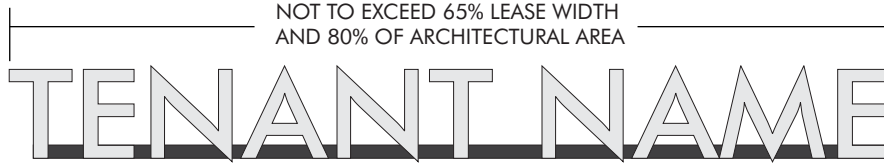
Sample Rendering

Not To Scale



Face Lit Channel Letters

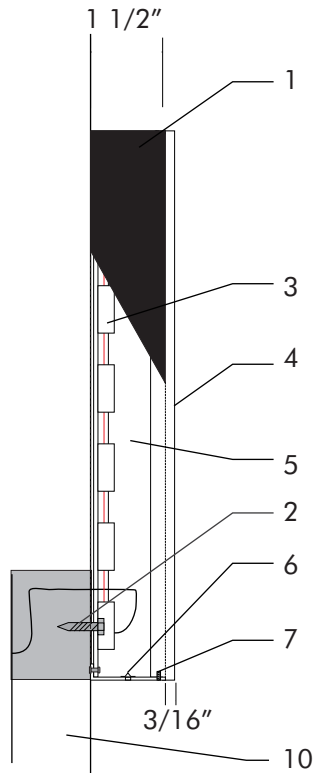
Not To Scale



CANOPY TRIMLESS FACELIT CHANNEL LETTER + RACEWAY

Scale 3" = 1' 0"

1 1/2" deep fabricated aluminum channel letters plexiglas faces, either trimless or with trim cap. LED internal illumination. The total sign area shall not exceed one-half (frax;1;2;) square foot for each lineal foot of building frontage to which the signs pertain.



1. Fabricated aluminum trimless face lit channel letters with finished returns.
2. #10 screws, (2) per ltr, typ.
3. Internal LED illumination
4. 1/2" white acrylic face.
5. Low voltage leads
6. Weep hole with baffle
7. 6/32 set Screws, mounted flush and painted to match return (4) per ltr, typ.
8. Remote Class 2 LED power supply in accessible location with disconnect switch.
9. Incoming primary circuit by others
10. Canopy - VIF



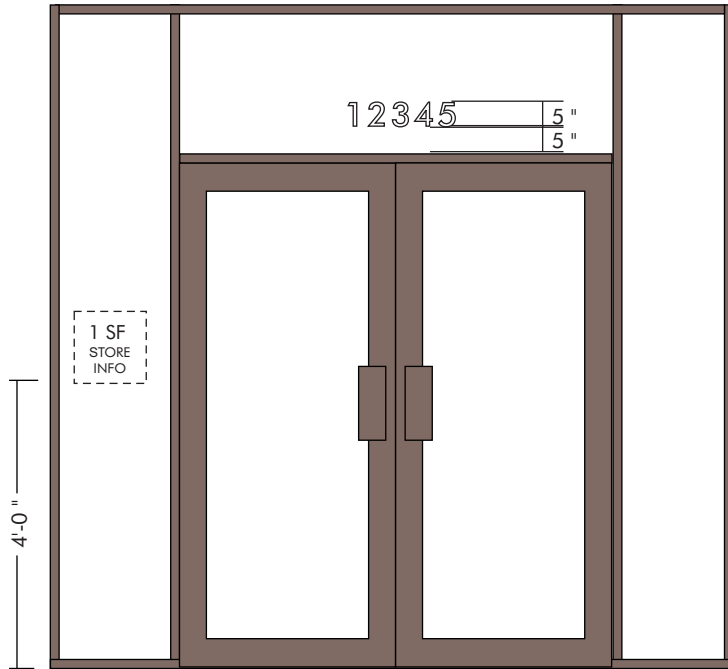
Sample Rendering

Not To Scale



Face Lit Channel Letters

Not To Scale



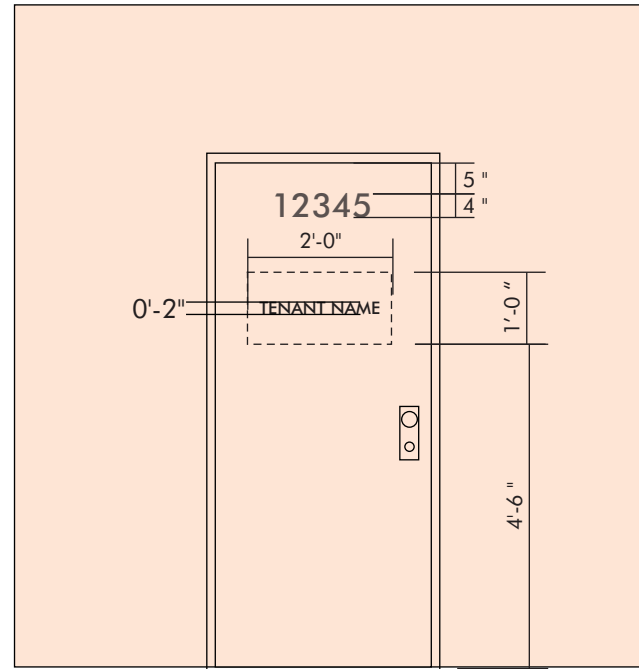
Typical Tenant Window Signs Suite Address and Store Info

Scale 1/8 = 1' 0"

Addresses to be white vinyl applied to exterior of transom glass.

Tenant information signage shall be placed on front of glass and conform to the following requirements:

- Letters shall be 3M white vinyl.
- Letters shall be computer cut and spaced.
- Max area is 1 S.F.
- Copy may include hours, emergency phone number, etc



Typical Service Door Address and Store Name

Scale 1/8 = 1' 0"

- Letters shall be 3M dark bronze vinyl.
 - Letters shall be computer cut and spaced.
 - Max area is 1 S.F.
 - Copy may include store name only and may be in tenant logotype if it conforms to be size allowance.
- Tenant Name shall be 2" tall Futura Medium, All Caps

NOTES

- 1

Simulated wood powder coated aluminum.
- 2

Face lit channel letters/logo
- 3

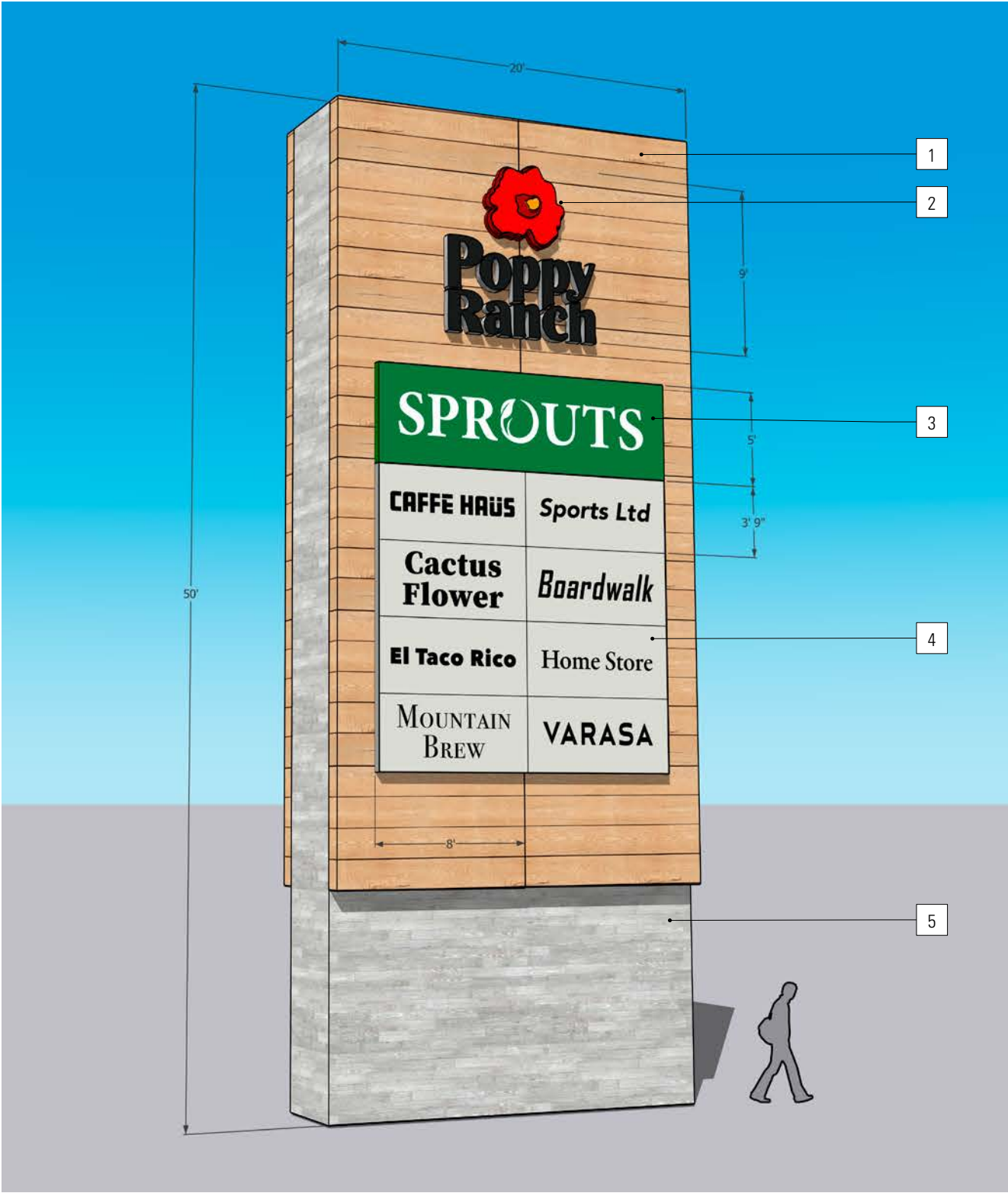
Sprouts tenant panel: Back-lit acrylic panel.
- 4

Changeable tenant panels: push-thru flush letters in day/nite acrylic.
- 5

Board formed concrete veneer panels

Project Symbol: 20 SF
Project Logotype: 40 SF
Total: 100 SF
Allowed by code: 50 SF

Sprouts Panel: 80 SF
Tenant Panels: 240 SF
Total: 320 SF
Allowed by code: 200 SF



1 | FREEWAY PYLON SIGN - OPTION 1 - PERSPECTIVE

NTS

DAVIES

Davies Associates, Inc.
Design Studio

9424 Dayton Way, Suite 217
Beverly Hills, CA 90210
310.247.9572
www.daviesla.com

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Poppy Ranch
Signage Program

Morgan Hill, CA
Project No. 25-033

Regency Centers

Schematic Design
Revised

02.24.26
04.08.26

PH
PH

Sign Type 1
Freeway Pylon Sign
Option 1

G3

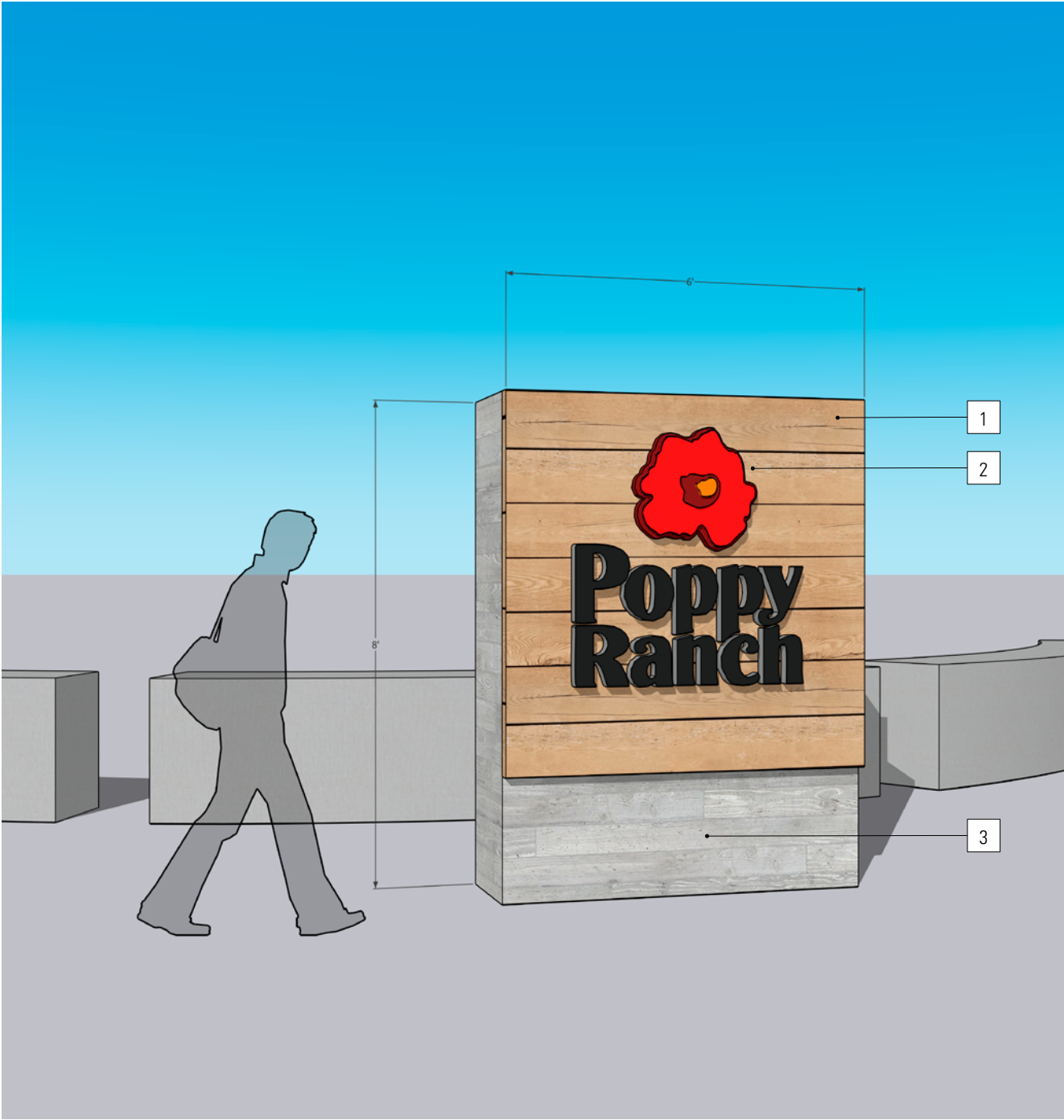
NOTES

- 1

Simulated wood powder coated aluminum.
- 2

Face lit channel letters/logo
- 3

Board formed concrete veneer panels



Allowed by code:
1 monument sign per street frontage or 1 per vehicle access point from street, whichever is greater

Requesting 1 project ID monument sign in corner plaza instead of at second entry on DePaul Drive

1 PROJECT IDENTIFICATION IN PLANTER

NTS

DAVIES

Davies Associates, Inc.
Design Studio

9424 Dayton Way, Suite 217
Beverly Hills, CA 90210
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www.daviesla.com

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Poppy Ranch
Signage Program

Morgan Hill, CA
Project No. 25-033

Regency Centers

Schematic Design
Revised

02.24.26
04.08.26

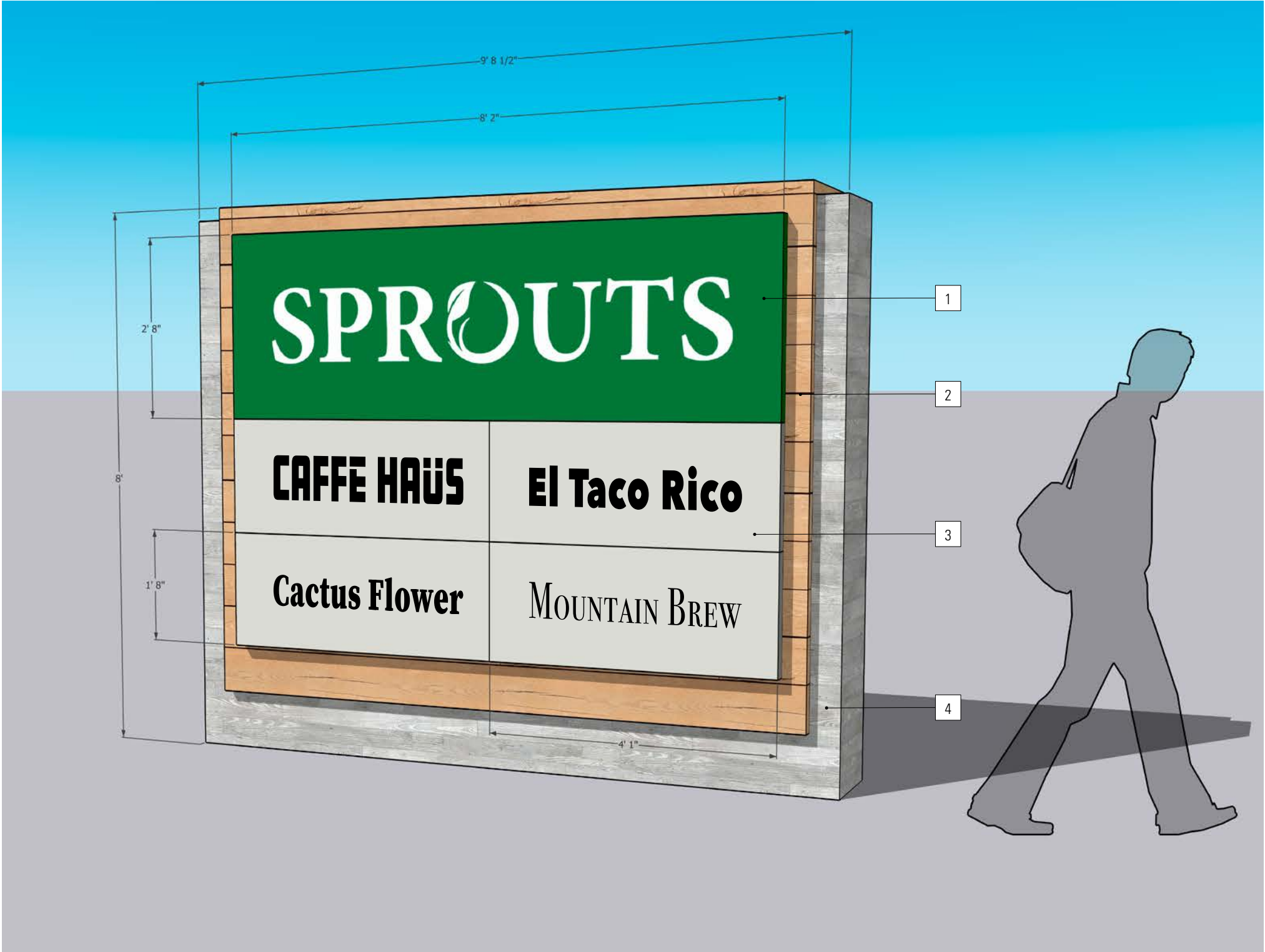
PH
PH

Sign Type 2
Project Identification Sign

G5

NOTES

A	City of Morgan Hill Sign Code: Maximum sign area is 50 SF
1	Sprouts tenant panel: Back-lit acrylic panel.
2	Wood to match architectural specification
3	Changeable tenant panels: push-thru flush letters in day/nite acrylic.
4	Board-formed concrete



1 PRIMARY MONUMENT SIGN - 50 SF OF TENANT SIGNAGE AREA - PERSPECTIVE
NTS

DAVIES Davies Associates, Inc.
Design Studio
9424 Dayton Way, Suite 217
Beverly Hills, CA 90210
310.247.9572
www.daviesla.com

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Poppy Ranch
Signage Program

Morgan Hill, CA
Project No. 25-033

Regency Centers

Schematic Design
Revised

02.24.26
04.08.26

PH
PH

Sign Type 3
Primary Tenant Identification
Monument Sign

G6

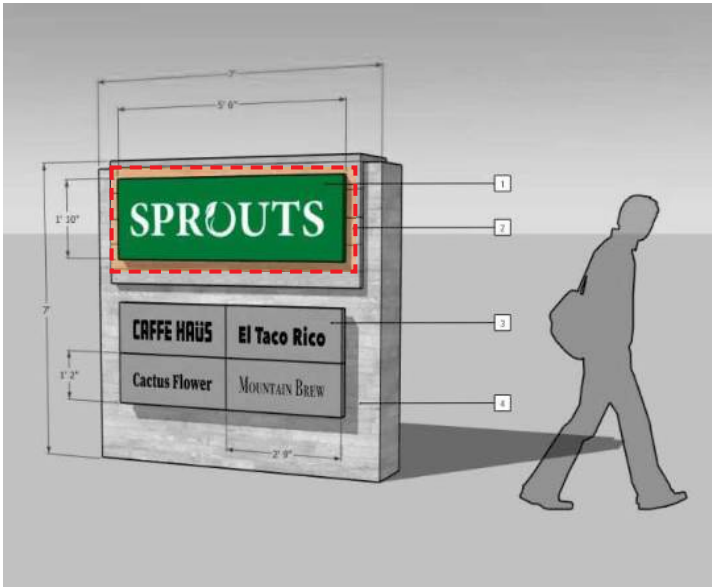


8 MONUMENT SIGN PANEL SPECIFICATIONS Scale: 3/16"=1'-0"

Description: Manufacture and install two (2) panels for one (1) existing double face, internally-illuminated monument sign.

Component	Type	Specifications	Color / Finish
Tenant Panels	Aluminum with rout out copy	Paint (satin)	Dark Green PMS 2465 C
"Sprouts" Layout	3/16" Acrylic backed	N/A	White

***Exact sizes and materials to be confirmed**



NOTES

- A

City of Morgan Hill Sign Code: Maximum sign area is 50 SF
- 1

Wood to match architectural specification
- 2

Changeable tenant panels: push-thru flush letters in day/nite acrylic.
- 3

Board-formed concrete



1 SECONDARY MONUMENT SIGN - 50 SF OF TENANT SIGNAGE AREA - PERSPECTIVE

NTS

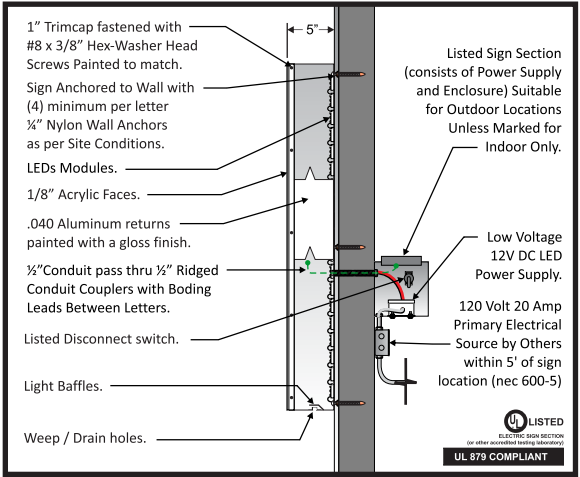


1 54" PAN CHANNEL LETTER SPECIFICATIONS Scale: 3/16"=1'-0"

Description: Manufacture and install one (1) set of internally-illuminated channel letters.

Component	Type	Specifications	Color / Finish
Faces	3/16" Clear polycarbonate	Vinyl applied 1st surface	3M White 3630-20 with digital print and white outline "S, P, R, U, T, S" Dark Green PMS 2465 C "FARMERS MARKET" Light Green PMS 360 C "O" Gradient from PMS 2465 C to PMS 360 C Cover all letters with 3M 3660M for UV protection
Trimcaps	1" Trimcap	Pre coated	White
Returns	.063 Aluminum	Pre coated	White
Illumination	LED	GE LED - GEMX71-W1S	White

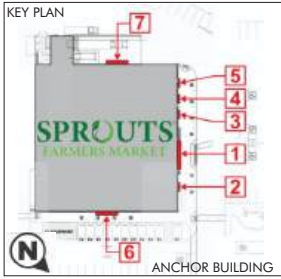
20' electrical leads required



Section Detail - Scale: NTS



Night View - Scale: NTS

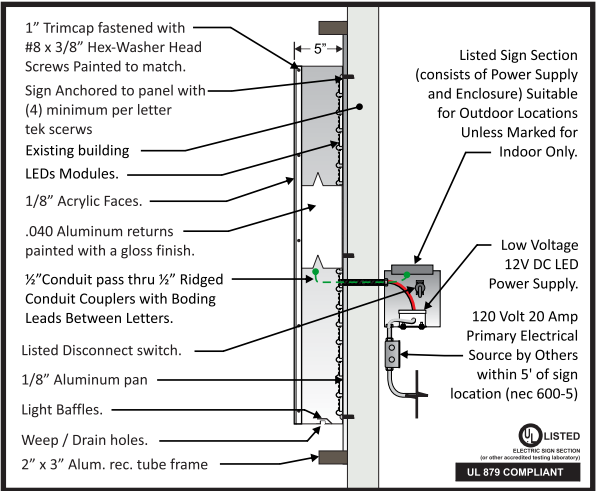




2 14" PAN CHANNEL LETTERS ON PANEL SPECIFICATIONS Scale: 3/8"=1'-0"

Description: Manufacture and install one (1) set of internally-illuminated channel letters on panel.

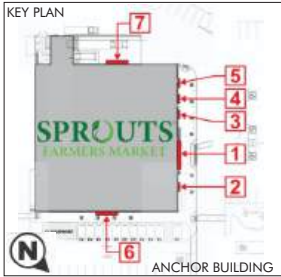
Component	Type	Specifications	Color / Finish
Faces	3/16" White polycarbonate	Vinyl applied 1st surface	3M White 3630-20 with digital print Dark Green PMS 2465 C Cover all letters with 3M 3660M for UV protection
Trimcaps	1" Trimcap	Pre coated	White
Returns	.063 Aluminum	Pre coated	White
Illumination	LED	GE LED - GEMX71-W1S	White
Background Panel	1/8" Aluminum panel	Paint (matte)	MP to match PPG 1009-1 Tundra Front

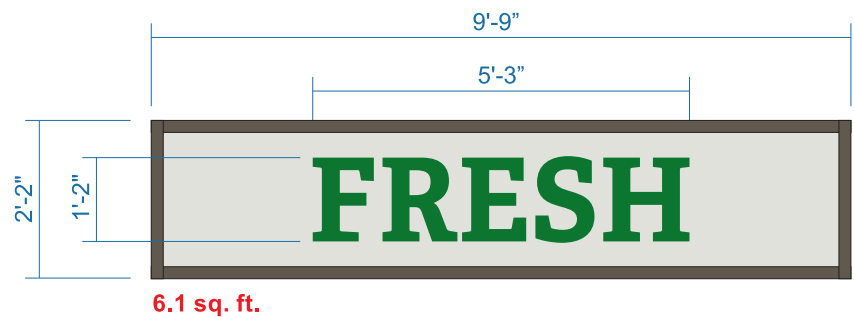


Channel Letter Section Detail - Scale: NTS



Night View - Scale: NTS

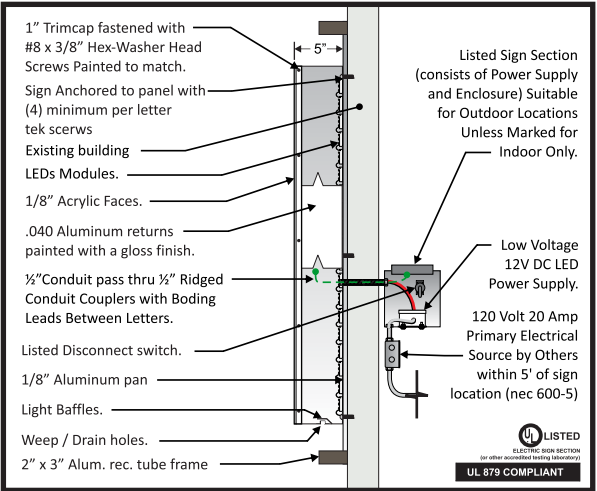




3 14" PAN CHANNEL LETTERS ON PANEL SPECIFICATIONS Scale: 3/8"=1'-0"

Description: Manufacture and install one (1) set of internally-illuminated channel letters on panel.

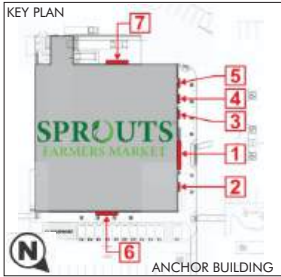
Component	Type	Specifications	Color / Finish
Faces	3/16" White polycarbonate	Vinyl applied 1st surface	3M White 3630-20 with digital print Dark Green PMS 2465 C Cover all letters with 3M 3660M for UV protection
Trimcaps	1" Trimcap	Pre coated	White
Returns	.063 Aluminum	Pre coated	White
Illumination	LED	GE LED - GEMX71-W1S	White
Background Panel	1/8" Aluminum panel	Paint (matte)	MP to match PPG 1009-1 Tundra Front

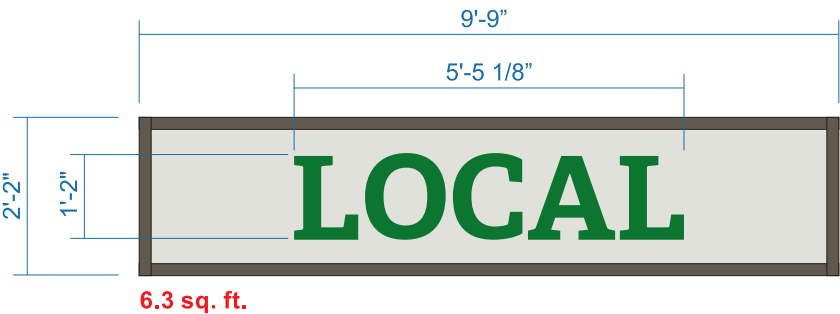


Channel Letter Section Detail - Scale: NTS



Night View - Scale: NTS

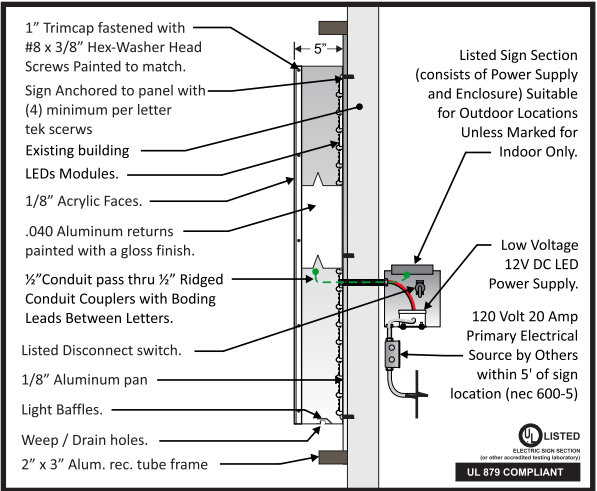




4 14" PAN CHANNEL LETTERS ON PANEL SPECIFICATIONS Scale: 3/8"=1'-0"

Description: Manufacture and install one (1) set of internally-illuminated channel letters on panel.

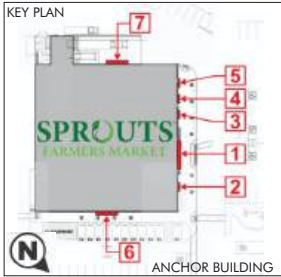
Component	Type	Specifications	Color / Finish
Faces	3/16" White polycarbonate	Vinyl applied 1st surface	3M White 3630-20 with digital print Dark Green PMS 2465 C Cover all letters with 3M 3660M for UV protection
Trimcaps	1" Trimcap	Pre coated	White
Returns	.063 Aluminum	Pre coated	White
Illumination	LED	GE LED - GEMX71-W1S	White
Background Panel	1/8" Aluminum panel	Paint (matte)	MP to match PPG 1009-1 Tundra Front



Channel Letter Section Detail - Scale: NTS



Night View - Scale: NTS

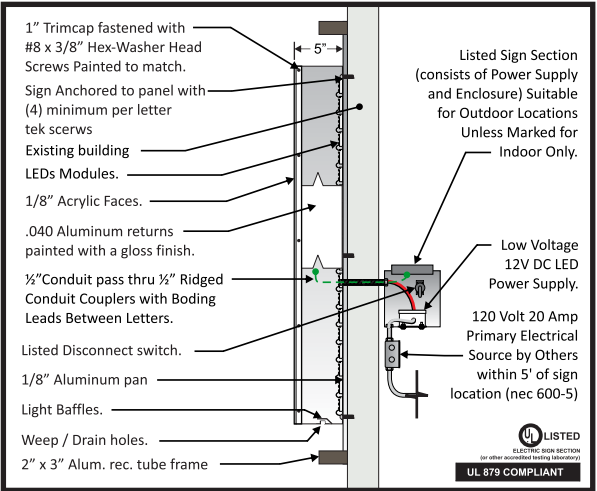




5 14" PAN CHANNEL LETTERS ON PANEL SPECIFICATIONS Scale: 3/8"=1'-0"

Description: Manufacture and install one (1) set of internally-illuminated channel letters on panel.

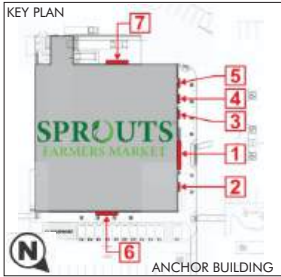
Component	Type	Specifications	Color / Finish
Faces	3/16" White polycarbonate	Vinyl applied 1st surface	3M White 3630-20 with digital print Dark Green PMS 2465 C Cover all letters with 3M 3660M for UV protection
Trimcaps	1" Trimcap	Pre coated	White
Returns	.063 Aluminum	Pre coated	White
Illumination	LED	GE LED - GEMX71-W1S	White
Background Panel	1/8" Aluminum panel	Paint (matte)	MP to match PPG 1009-1 Tundra Front



Channel Letter Section Detail - Scale: NTS



Night View - Scale: NTS



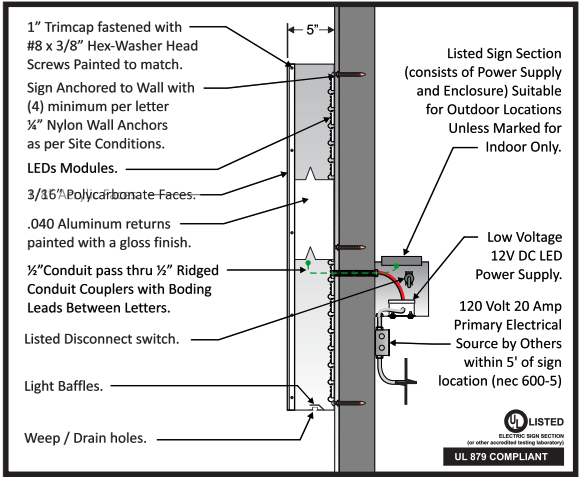


6 48" PAN CHANNEL LETTER SPECIFICATIONS Scale: 3/16"=1'-0"

Description: Manufacture and install one (1) set of internally-illuminated channel letters.

Component	Type	Specifications	Color / Finish
Faces	3/16" Clear polycarbonate	Vinyl applied 1st surface	3M White 3630-20 with digital print and white outline "S, P, R, U, T, S" Dark Green PMS 2465 C "FARMERS MARKET" Light Green PMS 360 C "O" Gradient from PMS 2465 C to PMS 360 C Cover all letters with 3M 3660M for UV protection
Trimcaps	1" Trimcap	Pre coated	White
Returns	.040 Aluminum	Pre coated	White
Illumination	LED	GE LED - GEMX71-W1S	White

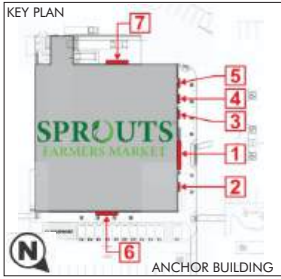
20' electrical leads required



Section Detail - Scale: NTS



Night View - Scale: NTS



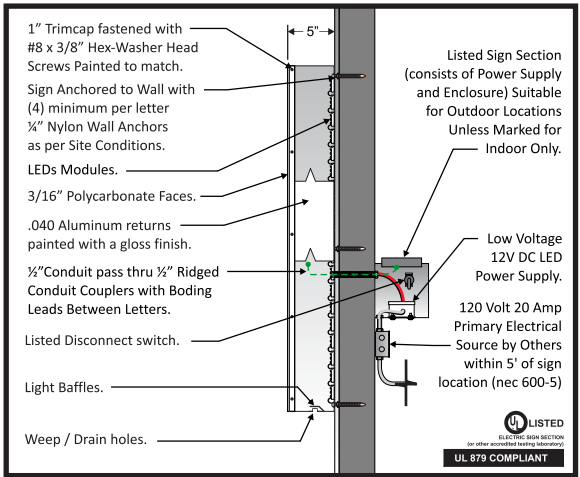


7 48" PAN CHANNEL LETTER SPECIFICATIONS Scale: 1/4" = 1'-0"

Description: Manufacture and install one (1) set of internally-illuminated channel letters.

Component	Type	Specifications	Color / Finish
Faces	3/16" Clear polycarbonate	Vinyl applied 1st surface	3M White 3630-20 with digital print and white outline "S, P, R, U, T, S" Dark Green PMS 2465 C "FARMERS MARKET" Light Green PMS 360 C "O" Gradient from PMS 2465 C to PMS 360 C Cover all letters with 3M 3660M for UV protection
Trimcaps	1" Trimcap	Pre coated	White
Returns	.040 Aluminum	Pre coated	White
Illumination	LED	GE LED - GEMX71-W1S	White

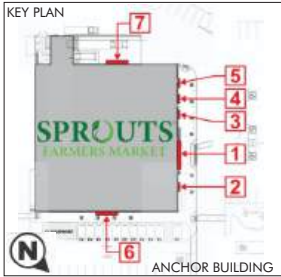
20' electrical leads required



Section Detail - Scale: NTS



Night View - Scale: NTS





Master Sign Program

Poppy Ranch Shopping Center SIGN2026-0015

August 25, 2026



Project Information

Site and Location

- General Plan – Commercial
- Zoning – Commercial Highway
- Gateway Project
- Site Acreage – 7.82

Background

- Design Permit SR2026-0005
- June 9, 2026 - Admin Hearing
- Approved – July 24, 2026



Approved Project

59,314 SF Total Commercial

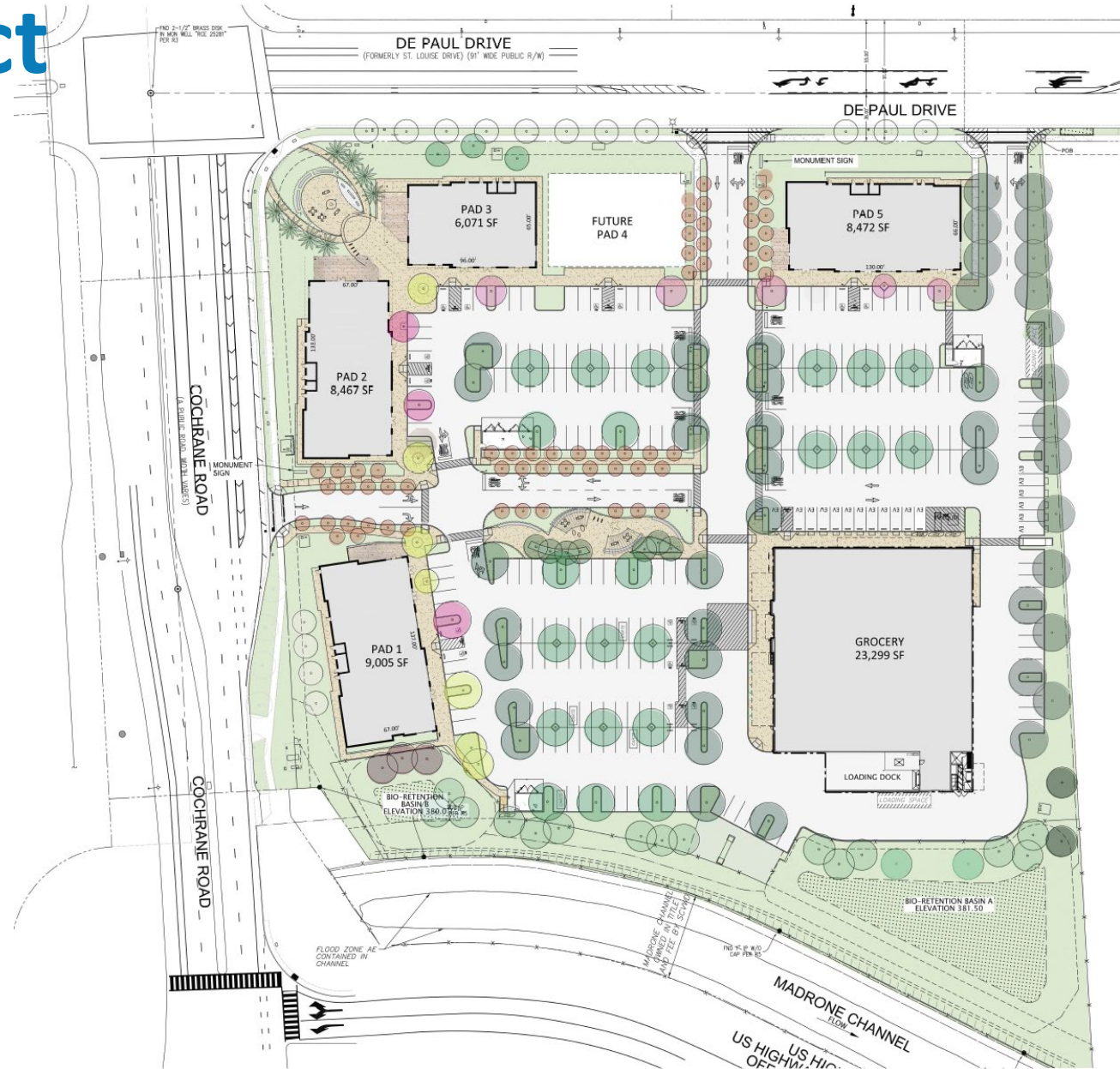
Parking

- Required = 237
- Provided = 275

Bicycle Parking

- 24 Short Term
- 12 Long Term

Trail Connection



Master Sign Program

Municipal Code

- Required: All non-residential development with 4 tenants or more require a sign program
- Purpose: coordinated approach to signage for multi-tenant non-residential development
- Allows Deviation: allows deviation from Municipal Code Standards relating to height, number of signs, sign areas, and type of signs.
- Prohibited Signage: May not allow Prohibited Signs

Master Sign Program Proposal

Sign Types, Sign Locations, and Standards

- Wall Signage
- Canopy Signage
- Monument Signage
- Freeway Signage

Proposed Deviations from Municipal Code

Type Of Sign	Municipal Code	Proposal
Number of Wall Signs	One Per Tenant	Minimum of two signs per tenant (one on all building facades)
Anchor Grocery Building	One Per Tenant	One primary sign and up to two secondary signs with company name and logo and 4 tertiary signs
Freeway Sign Eligibility	Min. 10-acre site Min. 100,000 sq. ft. of commercial	7.82-acres 59,314 sq. ft. of Commercial
Freeway Sign Area	200 sq. ft. maximum area	320 sq. ft. maximum area
Freeway Sign Distance	1,000 lineal feet away from another Freeway Sign	500 lineal feet away from another Freeway Sign

Sign Locations



Sign Types Standards



Sample Rendering
Not To Scale

SIGN TYPES - FACE LIT CHANNEL LETTERS ON STANDARD WALL



SIGN TYPES - FACE LIT CHANNEL LETTERS ON CORRUGATED WALL

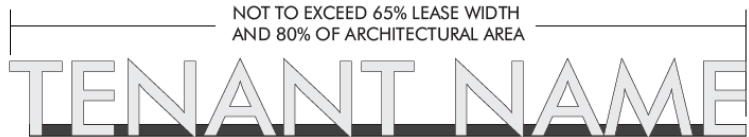


Sample Rendering
Not To Scale

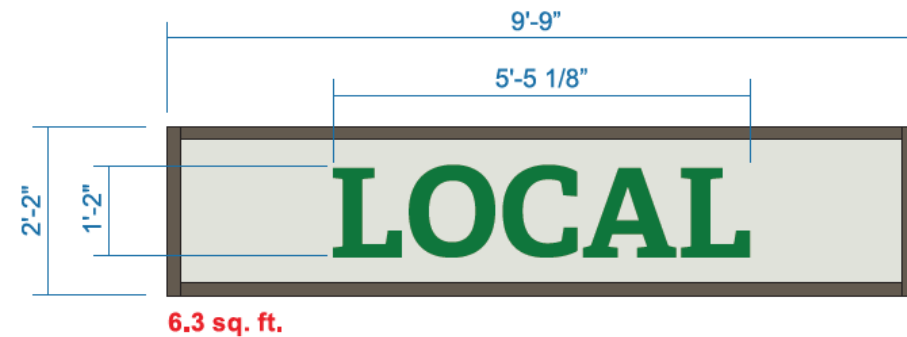
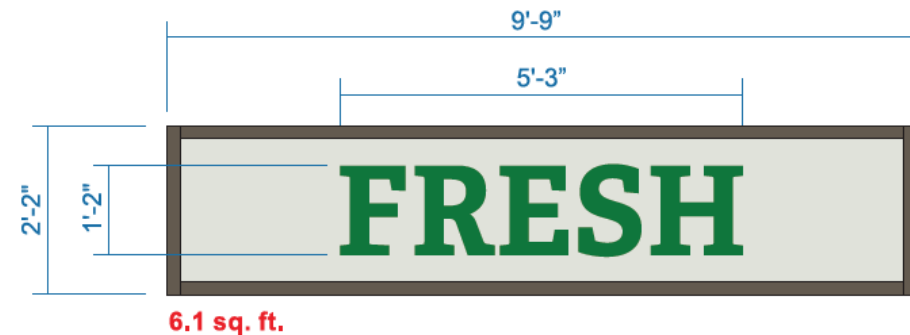
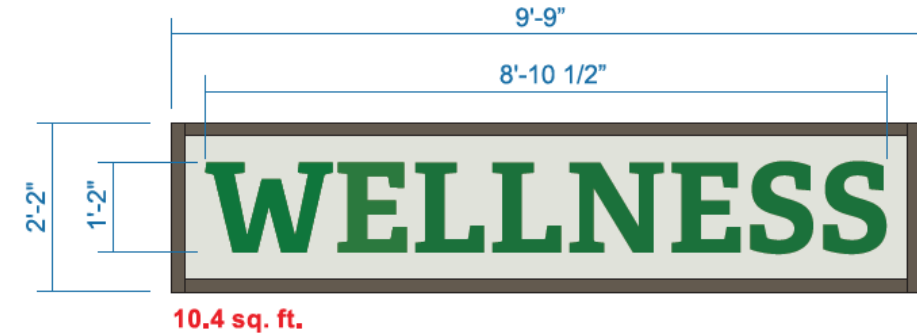


Sample Rendering
Not To Scale

SIGN TYPES - FACE LIT CHANNEL LETTERS ON CANOPY



Anchor Wall Signage



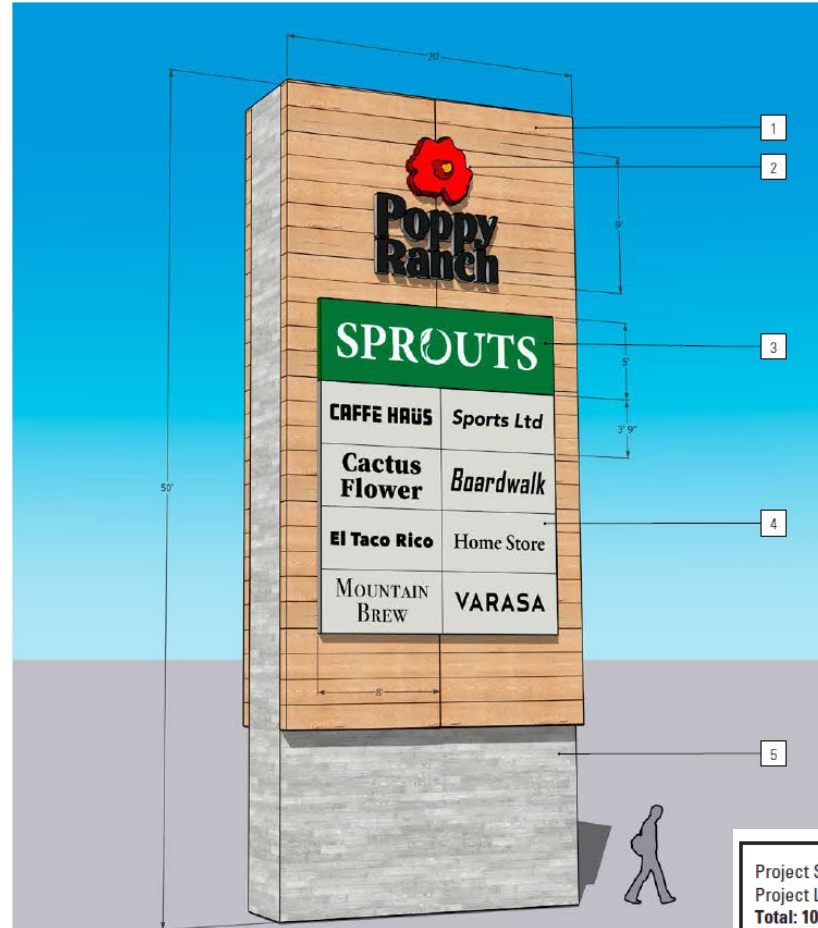
Cochrane & DePaul Elevation



Elevations



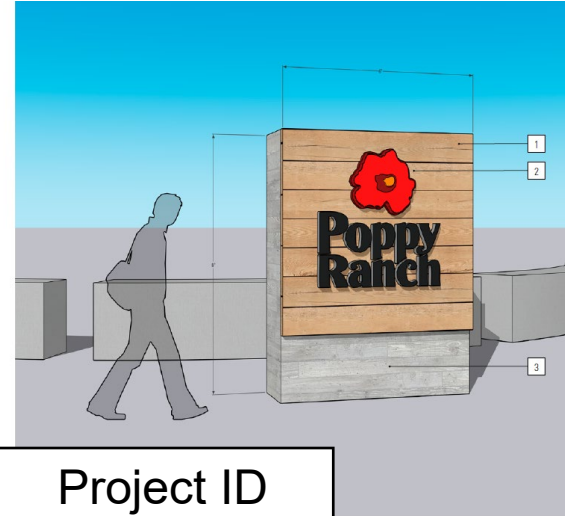
Freeway and Monument Signage



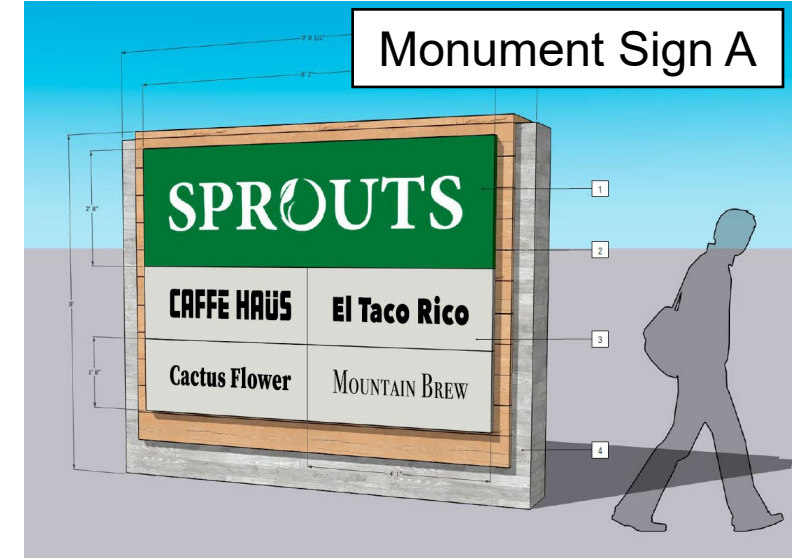
Freeway Pylon Sign

Project Symbol: 20 SF
 Project Logotype: 40 SF
Total: 100 SF
 Allowed by code: 50 SF

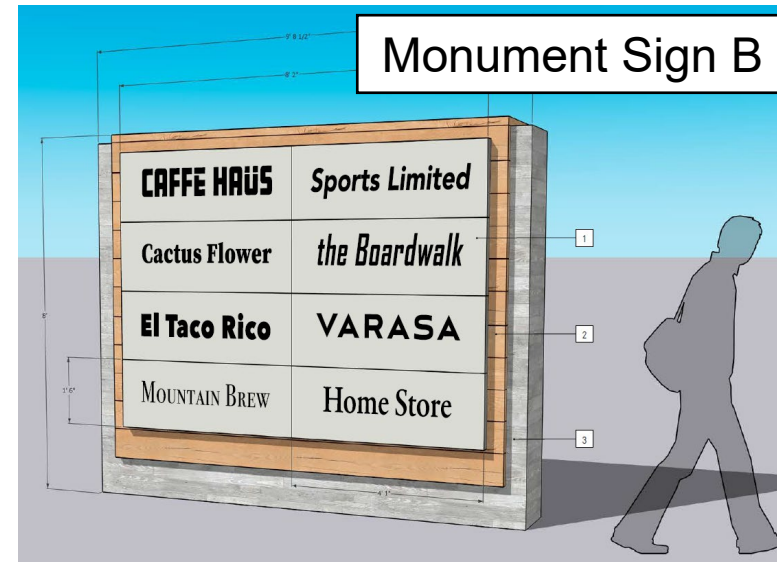
Sprouts Panel: 80 SF
 Tenant Panels: 240 SF
Total: 320 SF
 Allowed by code: 200 SF



Project ID Sign



Monument Sign A



Monument Sign B

Freeway Signage Location



Project Analysis

Master Sign Program Consistency

- Consistent with the General Plan and the intent of Municipal Code Section 18.88.110 (Master Sign Programs)

CEQA

- Categorically Exempt from further Environmental Review (Section 15301 and 15303)

Community Engagement

- Legal Ad in Paper
- Project Page
- Site Signage
- Mailed to property owners within 300-feet of the project site

Recommendations

- Open and close the public hearing; and
- Adopt a Resolution approving the Master Sign Program for Poppy Ranch

Questions?